

PROJECT:
MEP DRAWINGS OF
RUBIN & CHAPELLE FASHION ISLAND

PROJECT ADDRESS:
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

ENGINEER
NAME: RICHARD JENSEN
ADDRESS:

Rev	Description	Date

APPLICABLE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA COMMERCIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE

PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

OWNER
IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE

TITLE SHEET

DRAWN BY	CHECKED BY	DATE 04/02/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER T-00	REV-00	

GENERAL NOTES

1. DIMENSIONS ON DRAWINGS: DO NOT SCALE THE DRAWINGS. USE WRITTEN DIMENSIONS. IF CONFLICTS EXIST NOTIFY THE OWNER BEFORE PROCEEDING WITH THE WORK. DIMENSIONS ARE TO THE FACE OF FINISH UNLESS OTHERWISE NOTED.

2. COORDINATION OF WORK: THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF HIS/HER WORK AND THAT OF ALL SUB-CONTRACTORS. VERIFY AND COORDINATE ALL ROUTING OF MECHANICAL, ELECTRICAL, AND PLUMBING ITEMS, ROUGH-IN DIMENSIONS AND REQUIRED CLEARANCES OF UTILITIES, APPLIANCES, AND OTHER ITEMS ASSOCIATED WITH THE PROJECT WORK SUCH THAT CONFLICTS DO NOT OCCUR. NOTIFY OWNER OF PROBLEMATIC CONDITIONS.

3. CONFLICTS IN DOCUMENTS: NOTIFY OWNER IMMEDIATELY FOR CLARIFICATION SHOULD ANY CONFLICT IN INFORMATION FOUND IN THE DOCUMENTATION BE DISCOVERED.

4. CUTTING AND PATCHING: WHERE WORK REQUIRES CUTTING INTO OR DISRUPTION OF EXISTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING BOTH THE AREA OF WORK AND ITS ADJACENT SURFACES TO MATCH ADJACENT EXISTING SURFACES. PATCHING INCLUDES FINISH PAINTING OF AREA DISRUPTED.

5. TEMPORARY SHORING AND UNDERPINNING: IF REQUIRED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF BOTH EXISTING AND NEW WORK AS REQUIRED TO STABILIZE THE WORK AND TO MINIMIZE RISK OF PROPERTY DAMAGE OR INJURY ON SITE OR TO ADJACENT PROPERTIES. SHORING AND UNDERPINNING WORK IS TO BE PERFORMED UNDER SEPARATE PERMIT OBTAINED BY THE GENERAL CONTRACTOR.

6. AGENCY, INSPECTIONS, AND UTILITY COORDINATION: THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED CITY AGENCY INSPECTIONS. IN ADDITION, THE CONTRACTOR IS TO COORDINATE WORK WITH ALL UTILITY COMPANIES (GAS, ELECTRICITY, WATER, PHONES, ETC.) SUCH THAT SERVICE TO THE SITE IS EITHER MAINTAINED OR PROVIDED IN A TIMELY MANNER TO THE COMPLETION OF THE WORK. COORDINATE NEW SERVICE LOCATIONS AND CONFIGURATIONS WITH THE APPROPRIATE PROVIDER AND THE OWNER

7. SPECIAL INSPECTIONS AND TESTING: IF REQUIRED BY THE GOVERNING AGENCIES, THE OWNER IS TO PROVIDE REQUIRED SPECIAL INSPECTIONS AND TESTING VIA EITHER THE STRUCTURAL ENGINEER OR A LICENSED THIRD-PARTY TESTING AGENCY. THE GENERAL CONTRACTOR IS TO COORDINATE ALL WORK AND GIVE THE OWNER A MINIMUM FIVE DAY NOTIFICATION ONCE THE WORK IS READY FOR INSPECTION. KEEP ALL REPORTS FOR SUBMITTAL TO AUTHORITIES AT FINAL INSPECTION.

8. SITE UTILITIES: THE CONTRACTOR IS TO CAREFULLY REVIEW ANY EXISTING UTILITIES AND IDENTIFY THOSE THAT REQUIRE RELOCATION WITH REGARD TO THE PROPOSED SCOPE OF WORK. CONTRACTOR IS TO IDENTIFY WHETHER UPGRADES ARE REQUIRED TO MEET THE REQUIREMENTS OF THE CODE. VERIFY THE EXISTING ELECTRICAL SERVICE, MAIN PANEL AND SUB-PANELS, WATER AND HVAC ARE ADEQUATE FOR THE PROPOSED SCOPE OF WORK.

9. PROTECTION OF PROPERTY: PROTECT THE ADJACENT PROPERTIES AND IMPROVEMENTS FROM ALL DISTURBANCES AND DAMAGE. DO NOT TRESPASS ON NEIGHBORING PROPERTY. IF REQUIRED, SUBMIT WRITTEN REQUEST TO NEIGHBOR(S) WITH COPY TO OWNER AT LEAST 10 DAYS PRIOR TO NEEDED DATE OF TRESPASS. IF ANY DAMAGE OR DISTURBANCE OCCURS TO NEIGHBORING PROPERTIES, RESTORE TO PREVIOUS EXISTING CONDITION AT NO ADDITIONAL COST TO OWNER.

10. OWNER'S PROPERTY: IF OWNER'S FURNISHINGS, DECORATIONS OR OTHER PERSONAL PROPERTY ARE IN THE WAY OF THE NEW WORK, COORDINATE WITH THE OWNER FOR THEIR SAFE PROTECTION, RELOCATION, OR REMOVAL FROM THE JOBSITE PRIOR TO THE START OF THE WORK.

11. TEMPORARY BARRIERS: PROVIDE TEMPORARY BARRIERS TO PROTECT BOTH EXISTING AREAS AND NEW WORK COMPLETED FROM DISTURBANCE, DUST, DIRT, DEBRIS OR OTHER DAMAGE. IF ANY DISTURBANCE OR DAMAGE OCCURS, RESTORE TO PREVIOUS CONDITION AT NO COST TO THE OWNER.

12. DEBRIS REMOVAL: MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS AND RUBBISH CAUSED BY OPERATIONS. LEAVE THE JOBSITE CLEAN AND SECURE AT THE END OF EACH WORKING DAY.

13. FINAL CLEANING: THE WORK INCLUDES FINAL CLEANING AT THE SITE INCLUDING THE BUILDING INTERIOR, EXTERIOR AND SITE. WIPE DOWN AND DUST ALL SURFACES, VACUUM OR MOP ALL FLOORS, WASH AND POLISH GLASS, REMOVE ANY AND ALL PAINT SPOTS ON EXPOSED SURFACES AND REMOVE ALL DEBRIS AND TRASH.

14. WARRANTIES: ALL WORK PERFORMED IS TO BE GUARANTEED AGAINST DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION, EXCEPT WHERE LONGER PERIODS ARE GIVEN BY PRODUCT MANUFACTURERS OR ELSEWHERE IN THE CONSTRUCTION DOCUMENTS. NEATLY ARRANGE ALL PRODUCT WARRANTIES, USER MANUALS AND OTHER PERTINENT MATERIALS AND PROVIDE THEM TO THE OWNER AT FINAL COMPLETION OF WORK.

15. DOORS AND WINDOWS: THE CONTRACTOR IS RESPONSIBLE FOR THE FOLLOWING DOOR AND WINDOW COORDINATION:

A.) REVIEW ALL ROUGH OPENING SIZES AND LOCATIONS WITH DRAWINGS AND WINDOW SUPPLIER AT SITE PRIOR TO THE COMMENCEMENT OF WORK ON BOTH THE FOUNDATIONS AND THE ROUGH FRAMING. IMMEDIATELY NOTIFY OWNER AND DESIGNER OF ANY DISCREPANCIES BETWEEN OPENINGS SHOWN ON THE ARCHITECTURAL DRAWINGS AND THOSE AT THE FOUNDATIONS AND FRAMING AS DESCRIBED IN THE STRUCTUAL DRAWINGS.

B.) AT COMPLETION OF ROUGH FRAMING, REVIEW OPENINGS WITH DRAWINGS AND WINDOW SUPPLIER. SUBMIT COPY OF WINDOW ORDER TO OWNER FOR REVIEW PRIOR TO PROCEEDING WITH ORDER.

C.) VERIFY WITH SUPPLIER THAT WINDOWS TO BE USED FOR EGRESS PURPOSES MEET THE MINIMUM REQUIREMENTS SET FORTH IN THE BUILDING CODE. PROVIDE FIRE RATINGS AND TEMPERED GLAZING AS REQUIRED BY THE DRAWINGS OR AS SET FORTH IN THE BUILDING CODE.

D.) COORDINATE INSTALLATION OF ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES TO INSURE A WEATHER-TIGHT CONDITION.

16. MECHANICAL: THE CONTRACTOR IS TO PROVIDE DESIGN-BUILD SERVICES FOR THE PLUMBING AND MECHANICAL SCOPE OUTLINED IN THE DRAWINGS. COMPLY WITH ALL APPLICABLE CODES AND TITLE 24 ENERGY COMPLIANCE. SECURE AND PAY FOR ALL REQUIRED PERMITS. REVIEW DRAWINGS AND COORDINATE PATHWAYS SUCH THAT THEY ARE HIDDEN FROM VIEW. IF PATHWAYS CANNOT BE CONCEALED WITHIN THE WALLS, SOFFITS AND CEILING PROFILES AS SHOWN ON THE DRAWINGS. COORDINATE ALTERNATE LOCATIONS WITH DESIGNER AND OWNER ON SITE PRIOR TO PROCEEDING WITH THE WORK.

17. ENGINEERING INSPECTIONS: ALL ENGINEERING INSPECTIONS REQUIRE 24-HOUR NOTICE.

18. CONSTRUCTION WORKING HOURS: CONSTRUCTION WORKING HOURS SHALL NOT EXTEND BEYOND 7 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY, WITHOUT SPECIFIC WRITTEN PERMISSION FROM THE CITY OF SAN JOSE

19. ROAD CLEANUP: ROADWAYS SHALL BE MAINTAINED CLEAR OF CONSTRUCTION MATERIALS AND DEBRIS AT ALL TIMES. DAILY ROAD CLEANUP WILL BE ENFORCED.

20. CALIFORNIA COMMERCIAL CODE: A SMOKE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING AREAS, AS WELL AS THE PATHWAYS LEADING TO THE WALKING AREAS AND OR EACH LEVEL STORY.

21. CALIFORNIA COMMERCIAL CODE: A CABON MONOXIDE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING AREA

1. ALL LIGHT TYPES TO HAVE UL, ETL OR SIMILAR PRODUCT LISTING ON ALL SYSTEM COMPONENTS.

2. ALL LIGHTING INCLUDING MILLWORK LIGHTING REQUIRE DIMMING MODULES, DIMMABLE POWER SUPPLIES, AND OTHER DIMMING HARDWARE AS NECESSARY. COORDINATE DIMMING CONTROL REQUIREMENTS WITH MANUFACTURERS.

3. ALL EQUIPMENT, WIRING AND TERMINATIONS ARE NEW - SUPPLIED AND INSTALLED BY CONTRACTOR, UNLESS OTHERWISE NOTED ON PLANS AS:

(E) EXISTING DEVICE AND WIRING TO REMAIN.

(R) EXISTING WIRING TO BE RELOCATED AND CONNECTED TO A NEW DEVICE.

4. ALL WALL MOUNTED OUTLETS TO BE INSTALLED AT 17" AFF (OR MIN. BY CODE), UNLESS OTHERWISE NOTED.

5. ALL VOICE WIRING TO MATCH BUILDING STANDARD AND TERMINATED AS REQUIRED BY CONTRACTOR.

6. ALL DATA WIRING TO MATCH BUILDING STANDARD AND TERMINATED AS REQUIRED BY CONTRACTOR.

7. CONTRACTOR SHALL TEST AND CERTIFY ALL NETWORK WIRING, CORRECT ANY DEFICIENCIES AND SUBMIT A REPORT TO THE OWNER.

8. EXTEND ALL CONDUIT FROM EQUIPMENT LOCATIONS TO 6" ABOVE CEILING. CONCEAL ALL CONDUIT WITHIN NEW CONSTRUCTION AND FINISHES.

9. ALL EXPOSED EQUIPMENT (SWITCHES, PLATES, ETC.) TO BE WHITE, UNLESS OTHERWISE NOTED.

9.1. THIS SCHEDULE IS TO BE USED IN CONJUNCTION WITH ARCHITECTURAL POWER AND SIGNAL PLANS FOR EQUIPMENT TYPE AND LOCATION ONLY - SEE ENGINEERING DRAWINGS FOR ADDITIONAL INFO.

9.2. CONTRACTOR TO NOTIFY ARCHITECT WITH ANY DISCREPANCIES BETWEEN ARCHITECT AND ENGINEERING DRAWINGS PRIOR TO BIDDING AND EXECUTION OF WORK.

10. ALL LED POWER SUPPLIES, TRANSFORMERS, LIGHT FILTERS AND CONTROLS TO BE COORDINATED WITH LIGHTING SUPPLIER PER LIGHTING SPECIFICATION. FINAL LOCATIONS TO BE COORDINATED WITH ARCHITECT ON SHOP DRAWINGS FOR FINAL APPROVAL.

11. AUDIO / VISUAL SYSTEM COMPLETE WITH LCD MONITORS, PROJECTOR, SPEAKERS AND ASSOCIATED EQUIPMENT (RACKS, BRACKETS, VOLUME CONTROLS, HEAD END, ETC.) AND FINAL TERMINATIONS TO BE SUPPLIED AND INSTALLED BY OWNER'S VENDORS, MEDIA SERVICES.

12. FOR ANY NEW SPEAKER ALL AUDIO / VISUAL WIRING TO BE PLENUM RATED SUPPLIED AND INSTALLED BY G.C. CONTRACTOR TO PROVIDE HOME RUN FROM EACH DEVICE TO HEAD END EQUIPMENT. PROVIDE 3/4" CONDUIT AS REQUIRED BY LOCAL CODE ENFORCEMENT. SPEAKER AND FINAL TERMINATIONS BY OWNER'S VENDOR.

13. AUDIO / VISUAL DEVICES TO BE COORDINATED & EQUALLY SPACED BETWEEN LIGHT FIXTURES AND/OR ARCHITECTURAL CEILING ELEMENTS AS SHOWN IN PLAN. ARCHITECT TO APPROVE PLACEMENT PRIOR TO INSTALLATION.

14. SEE APPROVED MILLWORK ELECTRICAL LAYOUT FOR APPROVED AND FINAL LOCATION OF J-BOXES AND LOW VOLTAGE CONNECTORS. MILLWORKER NOTE: ALL MILLWORK TO ARRIVE PRE-WIRED.

15. SEE SHEET A004.00 FOR POWER / SIGNAL AND LIGHTING SCHEDULES

16. TYPICAL FLOOR CONDUIT BY G.C. SHALL BE INCORPORATED IN THE SETTING BED OF THE FINISH FLOOR. COORDINATE WITH LANDLORD FOR PREFERRED METHOD.

17. CIRCUITS AND FINAL QUANTITY OF J-BOX MUST BE COORDINATED WITH ELECTRICIAN.

1. ANY SECURITY OR OTHER EQUIPMENT LOCATED IN THE MAIN ENTRY AREA MUST BE INSTALLED IN MANNER THAT IS CONCEAL FROM PUBLIC VIEW. ALL SECURITY DEVICES AND SYSTEMS SHALL BE INTEGRATED WITHIN THE STOREFRONT DESIGN AND FINISHES. FREESTANDING SENSOR PEDESTALS ARE PROHIBITED.

2. ANY HARD LID CEILINGS AND SOFFITS CANNOT CONNECT TO THE STOREFRONT BELOW THE STOREFRONT FRAMING SYSTEM" (EXCEPTION: UNLESS IT IS A MINIMUM 5' BACK FROM THE GLASS/STOREFRONT SYSTEM).

3. ANY NON-ILLUMINATED, AND/OR ILLUMINATED SIGNAGE CANNOT BE PLACE AT THE INSIDE OF STOREFRONT SYSTEM WITHIN THE PREMISE. SIGNAGE MUST BE INSTALLED AT LEAST 3'-0" OFF THE INSIDE OF THE STOREFRONT SYSTEM.

4. BUG-EYE TYPE EMERGENCY LIGHTING OR COMBO TYPE EXIT LIGHT FIXTURE IS NOT ALLOWED IN AREAS THAT ARE VISIBLE TO THE PUBLIC. TENANT IMPROVEMENT PLANS AND FINAL CONSTRUCTION MUST INSTALL A RECESSED OR SURFACE MOUNTED CLEAR ACRYLIC BLADE EXIT SIGN AT THE STOREFRONT ENTRY." REFER TO LANDLORD'S CONTROL SHEET FOR SPECIFICATION AND DETAILS.

5. ALL ELECTRICAL, WIRING AND DATA RUNS IN THE OPEN CEILING AREA OF THE TENANT PREMISES IN THE FRONT OF HOUSE MUST BE RIGID CONDUIT. THE USE OF FLEX CONDUIT IS PROHIBITED. IN ADDITION, ANY ELECTRICAL RUN FROM THE CEILING TO A SUSPENDED LIGHT FIXTURE MUST BE HIDDEN IN A RIGID SLEEVE."

6. ACCESS PANELS SHALL BE INSTALLED IN ALL CEILING AREAS, WHICH MAY POTENTIALLY REQUIRE ACCESS FOR PURPOSES OF MAINTENANCE OF MECHANICAL OR OPERATIONAL SYSTEMS AND SIGNS. ANY ACCESS PANELS SHOULD BE SPECIFIED AS A STYLEMARK TYPE DRYWALL CEILING ACCESS DOOR (INTERSOURCE SPECIALTIES COMPANY / WWW.INTERSOURCECO.COM).

7. TRACK LIGHT FIXTURES LOCATED NEAR/ADJACENT TO THE STOREFRONT GLASS MUST BE INSTALLED WITHIN A RECESSED ALCOVE AT THE HARD LID CEILING TO CONCEAL THE TRACK FIXTURE FROM VIEW.

8. SPRINKLER HEADS: AREAS WITH FINISHED CEILING (FRONT OF HOUSE) FULLY CONCEALED TYPE WITH COVER PLATE FACTORY PAINTED TO MATCH CEILING COLOR. AREAS WITH FINISHED CEILING (BACK OF HOUSE) SEMI RECESSED PENDANT TYPE WITH ESCUTCHEON PLATE, POLISHED CHROME FINISH. AREAS WITH NO FINISHED CEILING STANDARD UPRIGHT TYPE, BRASS FINISH.

9. UNUSED OR ABANDONED WIRING, CABLES, MECHANICAL, ELECTRICAL OR PLUMBING LINES MUST BE DEMO'D AND DISCARDED; REPAIRS MUST BE MADE WHERE NECESSARY.

10. OPEN CEILINGS MUST BE PAINTED A DARK COLOR (TYP. DARK GREY) WHICH WILL ALLOW ABOVE CEILING EQUIPMENT, DUCTING, CONDUIT, WIRING, CABLES ETC TO "DISAPPEAR". THE LANDLORD RECOMMENDS A SCRIM PAPER (COLOR TO MATCH SURROUNDING AREA) TO BE INSTALLED AFTER ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK IS COMPLETED FOR A CLEAN AESTHETIC.

11. OPEN CEILING TRACK LIGHTING WIRING CONNECTIONS MUST BE IN A RIGID CONDUIT AND LINEAR TRACK AND HEADS MATCH THAT OF THE CEILING, I.E.

BLACK (INCLUDING ELECTRICAL CONNECTIONS, U CHANNEL CONNECTIONS, JBOXES ETC).

12. OPEN CEILING CABLES, WIRING, DUCTING, GRILLES AND VENTS IN THE OPEN CEILING STRUCTURE MUST MATCH SURROUNDING AREA. ANY CABLES, SPRINKLERS ETC THAT CANNOT BE PAINTED MUST BE IDENTIFIED IN THE FIELD AND BROUGHT TO THE LANDLORD'S ATTENTION. TO ACHIEVE AN UNCLUTTERED OVERHEAD APPEARANCE, ALL THREAD SUPPORTS FOR MECHANICAL UNITS NEED TO BE CUT AT A UNIFORM ELEVATION AND DUCTING INSULATED OR WRAPPED. ALL STRUCTURED CABLING AND FREE CABLES SHOULD HAVE CRISP, SHARP TURNS AND BE NEATLY BUNDLED.

DEMOLITION NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC. REMOVE ALL WORK AS INDICATED AND AS REQUIRED TO COMPLETE NEW CONSTRUCTION AS INDICATED. REFER TO CIVIL ENGINEERING, LANDSCAPE, MECHANICAL AND ELECTRICAL DRAWINGS FOR FEATURES NOT OTHERWISE SHOWN.

2. NOTES AND SYMBOLS ARE TO APPLY AT ALL AREAS OF SIMILAR GRAPHIC REPRESENTATION. SUCH INDICATIONS MAY BE LIMITED TO PROMOTE CLARITY OR AVOID REDUNDANCY. NO LIMITATION OF APPLICATION SHALL BE CONSTRUED WITHOUT SPECIFIC NOTATION.

3. NOTIFY LOCAL AGENCY HAVING JURISDICTION PRIOR TO STARTING DEMOLITION WORK. COMPLY WITH ALL AGENCY REQUIREMENTS.

4. OWNER WILL REMOVE FURNITURE, STORED MATERIALS AND MOVABLE EQUIPMENT IN THE AREA OF WORK PRIOR TO START OF DEMOLITION.

5. VERIFY EXISTING CONDITIONS AND INVERT ELEVATIONS OF UNDERGROUND UTILITIES PRIOR TO DEMOLITION. NOTIFY DESIGNER OF DISCREPANCIES AND REQUEST DIRECTION.

6. PROVIDE ALL SHORING, BRACING AND SUPPORTS REQUIRED TO PREVENT SETTLEMENT OR DISPLACEMENT.

7. DISCONNECT ALL AFFECTED UTILITIES PRIOR TO STARTING DEMOLITION WORK.

8. NEATLY CUT AND REMOVE SURFACES AND FINISHES AS REQUIRED OR TO A NATURAL POINT OF DIVISION TO ENABLE INSTALLATION OF UTILITIES OR OTHER CONCEALED WORK, WHETHER SPECIFICALLY SHOWN OR INFERRED FOR SUPPORT OR RENOVATION.

9. PROTECT EXISTING WORK DESIGNATED TO REMAIN FROM DAMAGE DUE TO DEMOLITION AND RECONSTRUCTION WORK.

10. REPAIR AND REPLACE ALL EXISTING SURFACES AND FINISHES TO MATCH EXISTING UNDISTURBED WORK.

11. CAP ALL ABANDONED UTILITIES BEHIND FACE OF NEW FINISHES, INCLUDING FINISH GRADE OR PAVING, RECORD ALL LOCATIONS ON RECORD DOCUMENTS.

12. SEE STRUCTUAL DRAWINGS FOR DEMOLITION OF SHEAR WALLS, INTERIOR PARTITIONS, TRENCHES FOR INSTALLATION OF UNDERGROUND UTILITIES.

13. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR DEMOLITION OF ITEMS NOT OTHERWISE INDICATED, INCLUDING UNDERGROUND OR CONCEALED UTILITIES AND SERVICES.

14. ALL DEMOLISHED MATERIALS ARE THE PROPERTY OF THE CONTRACTOR, EXCEPT FOR SUCH ITEMS AS THE OWNER WISHES TO CLAIM. STOCKPILE THESE ITEMS ON THE SITE AS DIRECTED BY THE OWNER.

15. REMOVE DEMOLISHED MATERIALS FROM SITE AND DISPOSE OF IN A LEGAL MANNER USING LOCAL RECYCLING FACILITIES.

18. REMOVE ALL EXISTING NAILS, TACKS, STAPLES, HANGER WIRES, SIGNAL WIRES, CABLES AND SIMILAR ITEMS FROM SURFACES TO REMAIN. PREPARE ALL REMAINING SURFACES / SUBSTRATE TO RECEIVE INDICATED FINISHES.

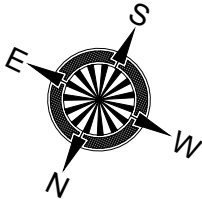
19. REMOVE AND STORE DESIGNATED EQUIPMENT / MATERIALS FOR RE-INSTALLATION AS INDICATED.

20. SELECTIVE DEMOLITON INDICATED IN THESE CONTRACT DOCUMENTS EXCLUDES REMOVAL OF HAZARDOUS MATERIALS AND TOXIC SUBSTANCES.

21. PRIOR TO START OF WORK, REFER TO HAZARDOUS MATERIALS SURVEY OR ABATEMENT DOCUMENTATION. HAZARDOUS MATERIALS MAY BE PRESENT ON THE SITE OR IN EXISTING CONSTRUCTION. THESE CONTRACT DOCUMENTS DO NOT CONTAIN MEASURES OR PRECAUTIONS FOR HAZARDOUS MATERIALS ABATEMENT.

22. IF HAZARDOUS MATERIALS ARE DISCOVERED OR SUSPECTED DURING DEMOLITION OPERATIONS, STOP WORK AND NOTIFY OWNER'S REPRESENTATIVE FOR INSTRUCTIONS IMMEDIATELY. TAKE MEASURES TO PROTECT WORKERS AND PUBLIC. DIRECT ALL QUESTIONS ABOUT HAZARDOUS MATERIALS TO THE OWNER'S REPRESENTATIVE.

23. COORDINATE DEMOLITION WITH WORK OF HAZARDOUS MATERIAL ABATEMENT WORK AS DIRECTED BY OWNER.



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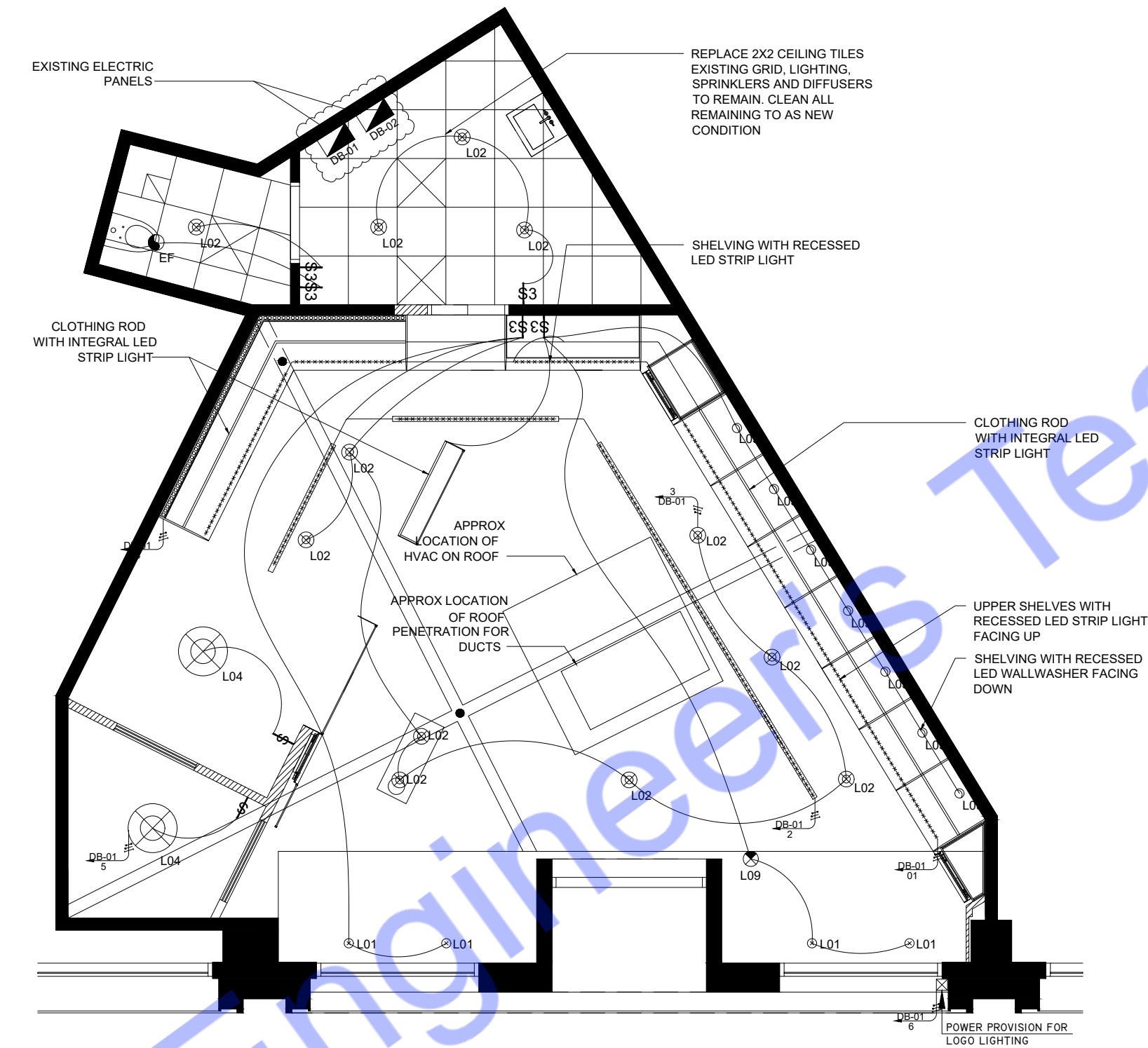
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GENERAL NOTES

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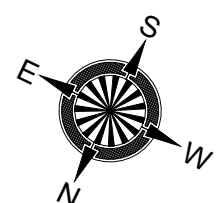


 **LIGHTING LAYOUT PLAN**

LEGENDS:

LIGHTING SYSTEM	
LEGEND	DESCRIPTION
\$	LIGHT SWITCH
\$3	LIGHT SWITCH
=====	L.E.D. LINEAR LIGHTING
=====	RECESSED COVELIGHTING
---	L.E.D. STRIP LIGHTING
⊕	WALL MTD FIXTURE
⊕	SURFACE MTD FIXTURE
○ EM	DENOTES WIRED FOR EMERGENCY LIGHTING
⊙	RECESSED LED DOWNLIGHT
⊙	RECESSED FLOOR UPLIGHT
⊙	RECESSED FLOOR UPLIGHT AT WET LOCATIONS
⊙	RECESSED WALL WASHER FIXTURE
⊙	RECESSED FIXTURE AT WET LOCATIONS
⊗	PENDANT FIXTURE
☼	EXHAUST FAN
⊗	EXIT SIGN

SHOWING 25MM PVC CONDUIT ABOVE FALSE CEILING/SLAB CONTAINS 2X2.5MM2+1.5E WIRES LOOP BETWEEN EACH LIGHTING OUTLET
NOTE: DASHED LINES SHOWING PVC CONDUITS ABOVE FALSE CEILING/SLAB WHILE SOLID LINES SHOWING CONSUTS UNDER TILE.



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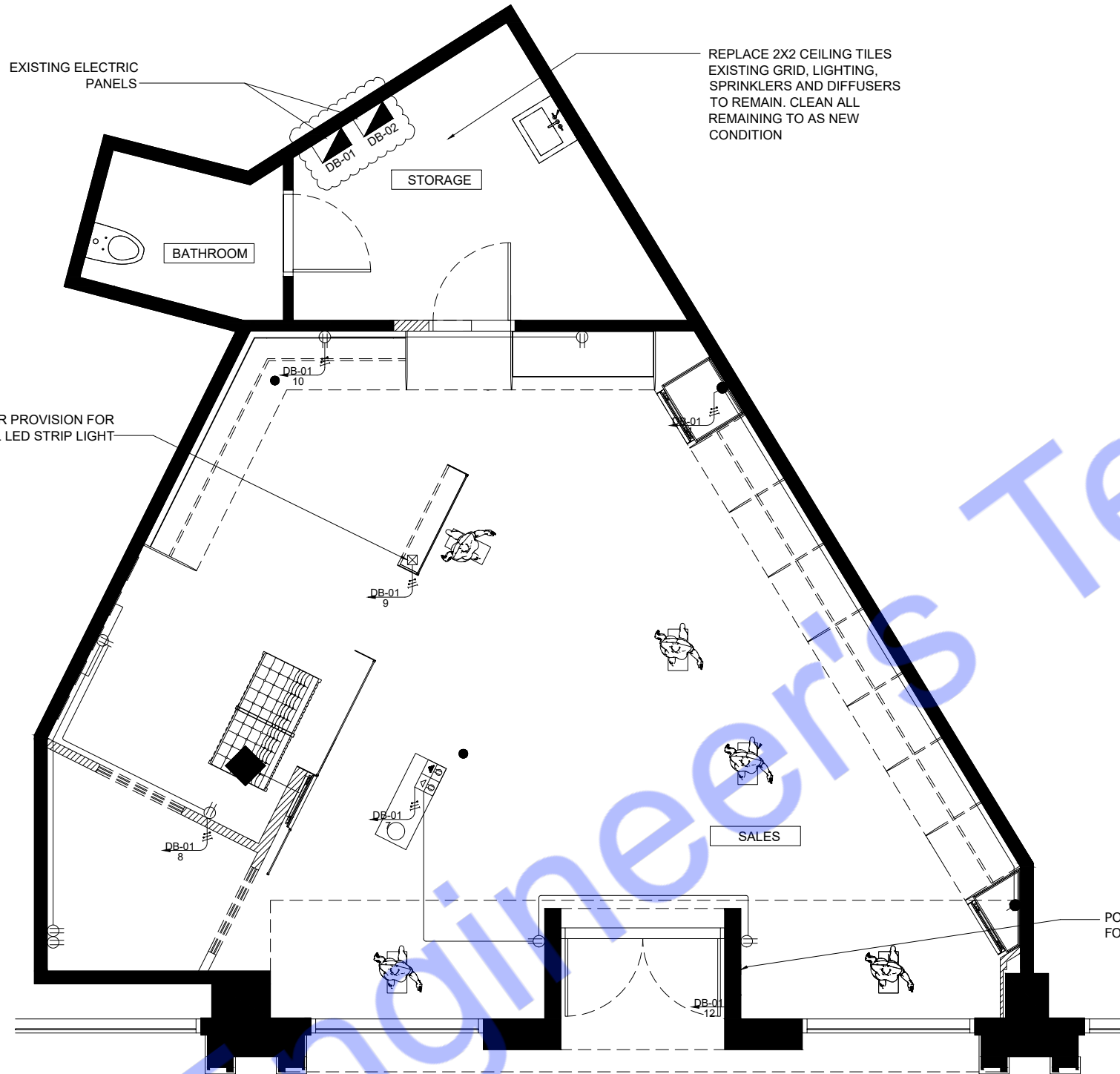
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LIGHTING LAYOUT PLAN

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E-01	

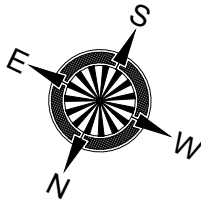


POWER/ RECEPTACLE LAYOUT PLAN

LEGENDS:

POWER SYSTEM		
SR NO	LEGEND	DESCRIPTION
1		PROVISION FOR POWER, TEL & DATA OUTLET TWO NO EU PLUG + TWO NO RJ45 OUTLET FOR DATA & TEL.
2		13A TWIN POWER OUTLET 220V 60HZ AT 18" F.F.L
		13A SINGLE POWER OUTLET 220V 60HZ AT 18" F.F.L
3		13A SINGLE POWER OUTLET 220V 60HZ AT 42" F.F.L
4		13A TWIN POWER OUTLET 220V 60HZ AT 42" F.F.L
5		30A DOUBLE POLE SWITCH DISCONNECT SWITCH
6		MAIN DISTRIBUTION BOARD
7		POWER PROVISION

NOTE:
SOLID LINES SHOWING CONDUITS UNDER TILE WHILE DOTTED LINES SHOWING CONDUIT ABOVE FALSE CEILING
SHOWING 25MM PVC UNDER TILE CONTAINS 2X2.5MM2+2.5E WIRES LOOP BETWEEN EACH POWER OUTLETS



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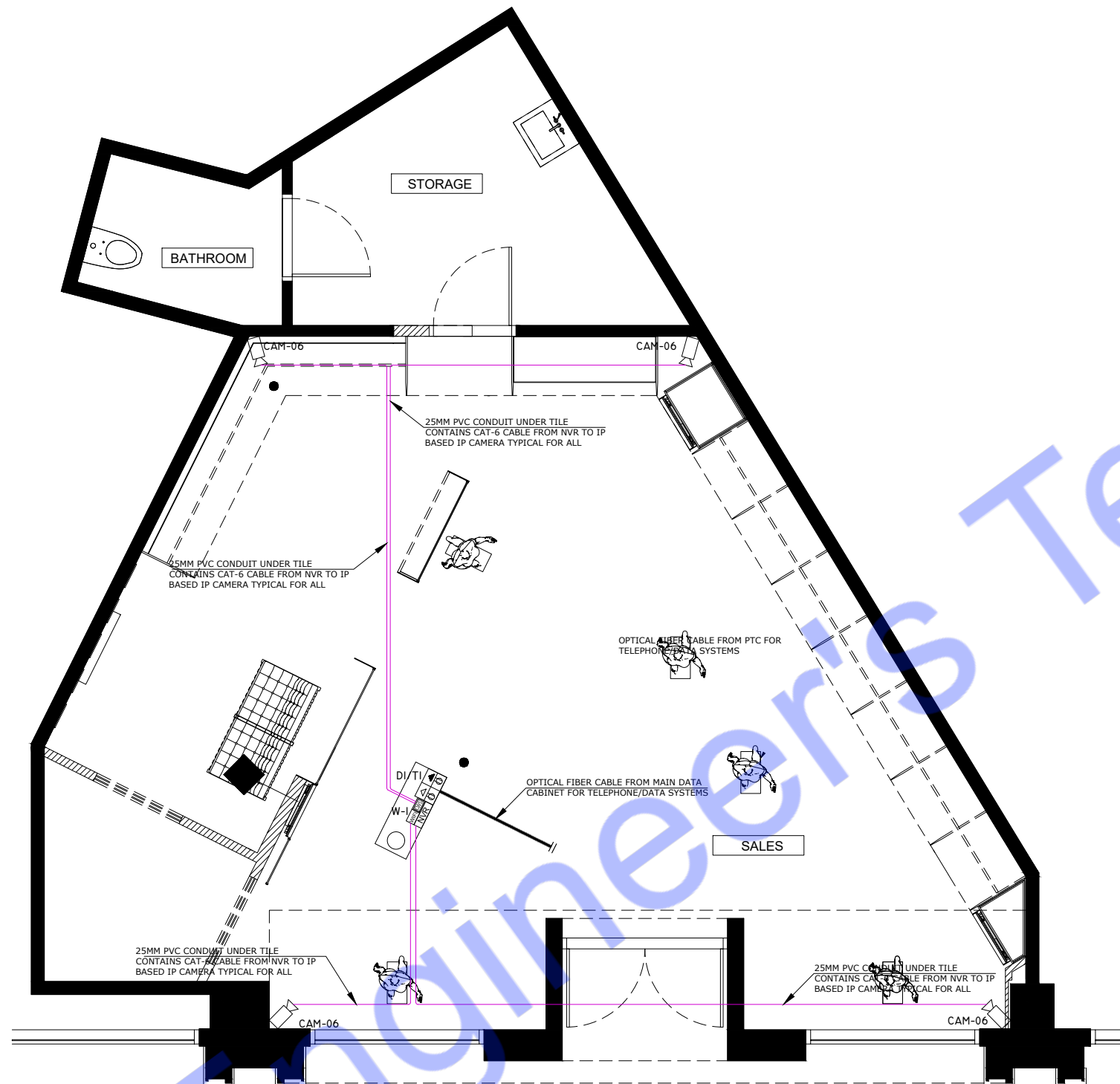
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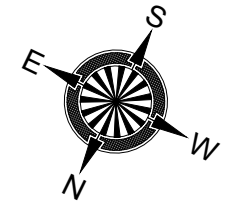


CCTV, WIFI AND DATA/ TEL LAYOUT PLAN

LEGENDS:

LOW CURRENT SYSTEMS		
SR NO	LEGEND	DESCRIPTION
1		PROVISION FOR POWER, TEL & DATA OUTLET TWO NO EU PLUG + TWO NO RJ45 OUTLET FOR DATA & TEL.
2		NETWORK VIDEO RECORDER
3		IP CAMERA WALL MOUNTED
4		CCTV WORKSTATION
5		WIFI ACCESS POINT (POE)

SHOWING DATA,TEL,WIFI CABLES CAT-6A EACH 25MM PVC OR 20MM EMT CONDUITS



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2022 CALIFORNIA ENERGY CODE

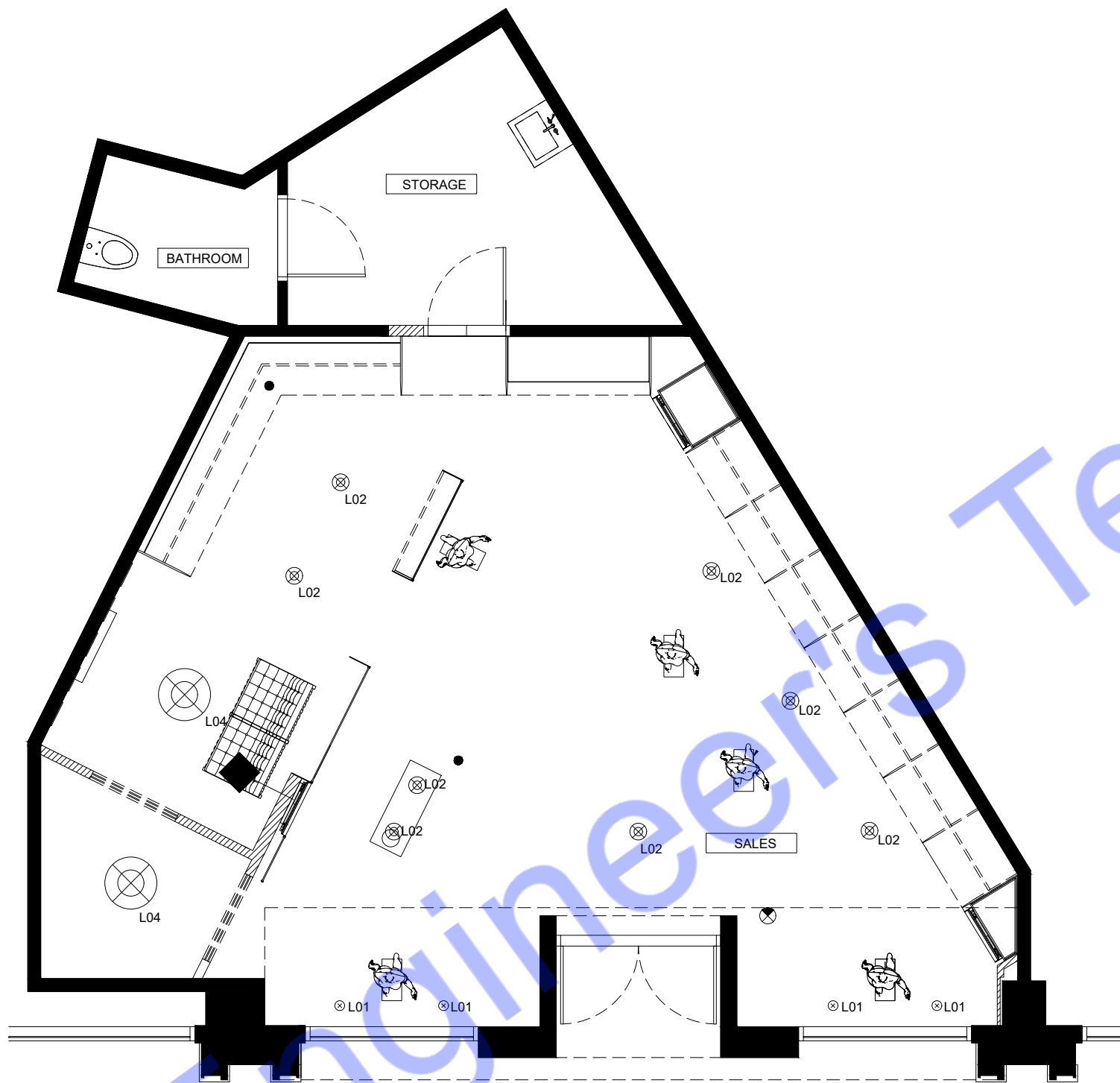
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

CCTV, WIFI AND DATA/
TEL LAYOUT PLAN

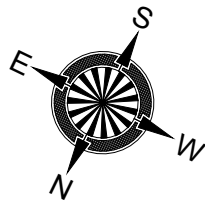
DRAWN BY	CHECKED BY	DATE 14/04/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER E-03	REV-00	



LEGEND:	
	REGULAR PENDANT FIXTURE USE AS EMERGENCY

NOTE: REGULAR LIGHT WILL BE USED AS EMERGENCY LIGHT. REGULAR PENDANT LIGHT WILL BE CONNECTED WITH BATTERY BACKUP SYSTEM. WHICH WILL TURN ON AUTOMATICALLY IN CASE OF EMERGENCY.

AT ALL TIMES, REGULAR PENDANT LIGHTS CAN BE CONTROLLED BY A SWITCH LIKE A NORMAL LAMP. BUT DURING AN EMERGENCY, IT WILL AUTOMATICALLY TURN ON USING BATTERY BACKUP.



ENGINEER
NAME: RICHARD JENSEN
ADDRESS:

Rev	Description	Date

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PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

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NEWPORT BEACH, CALIFORNIA 92660

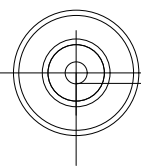
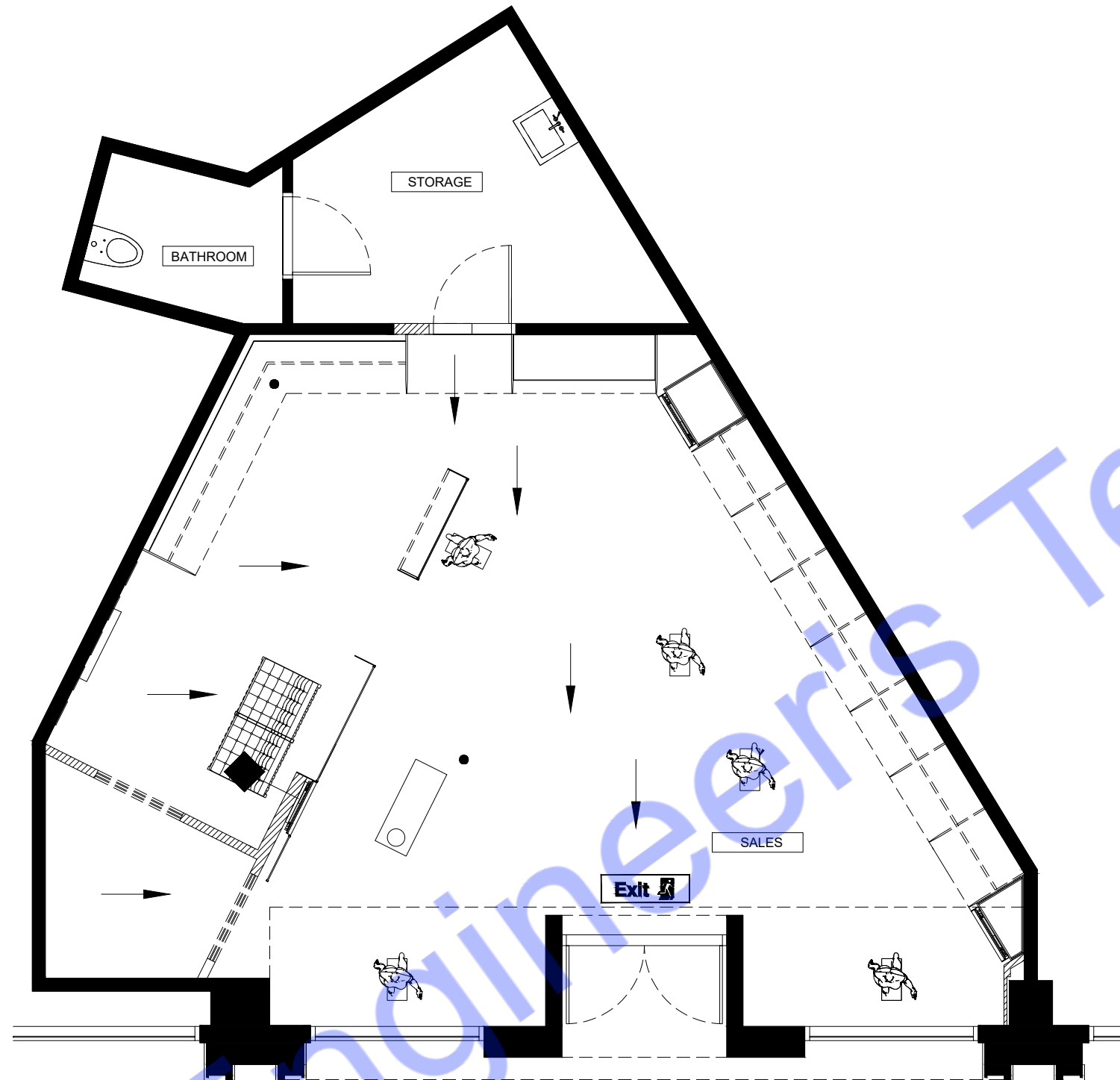
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TITLE

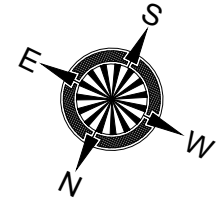
EMERGENCY LIGHT
LAYOUT PLAN

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DRAWING NUMBER E-04	REV-00	

 EMERGENCY LIGHT LAYOUT PLAN



EXIT SIGNS AND PATH OF EGRESS LAYOUT PLAN



NAME: RICHARD JENSEN
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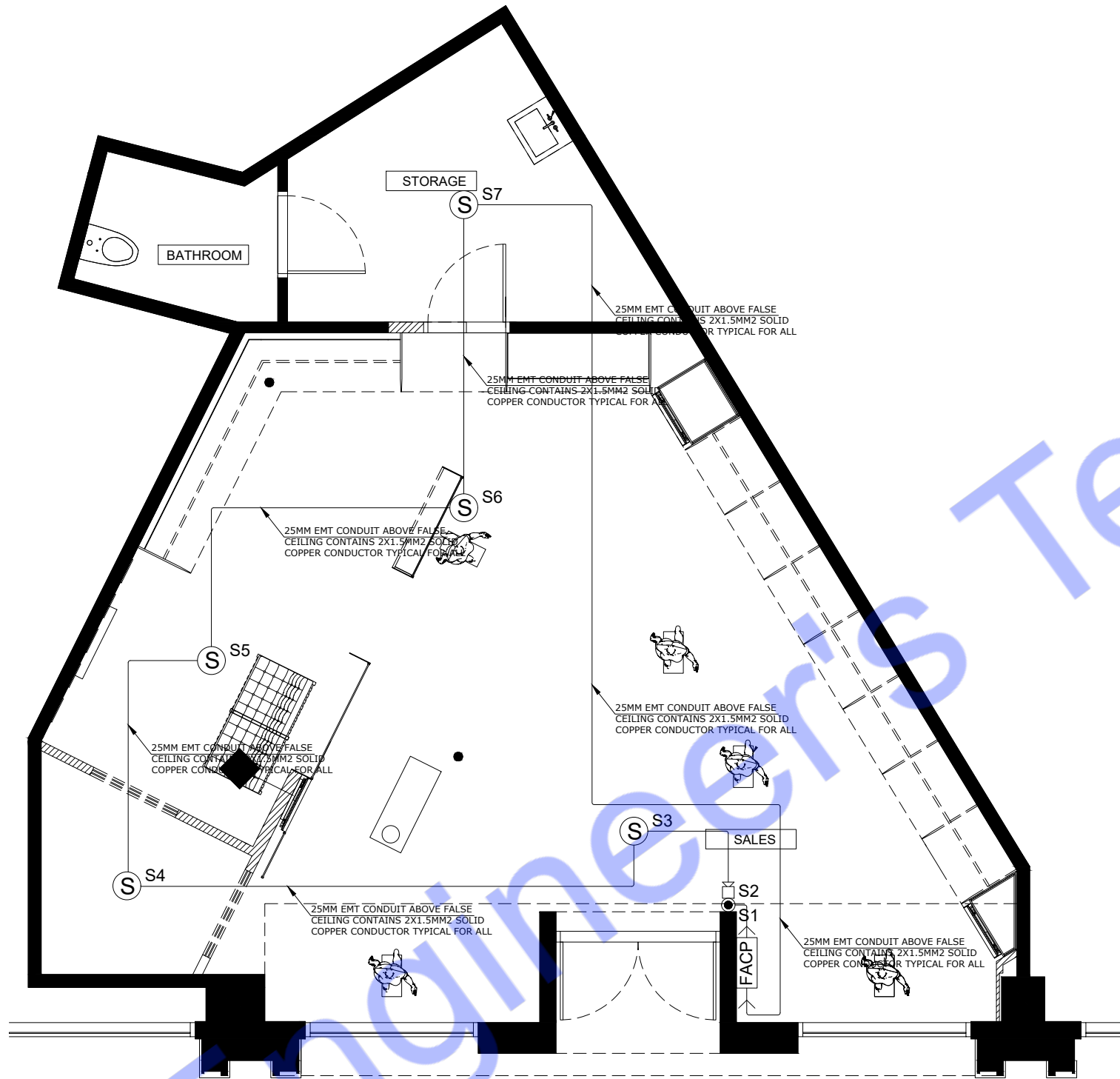
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IRVINE
MEP DRAWINGS

EXIT SIGNS AND PATH
OF EGRESS LAYOUT PLAN

DRAWN BY	CHECKED BY	DATE 04/02/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER E-05	REV-00	



FIRE ALARM LAYOUT PLAN

LEGENDS:

FIRE ALARM SYSTEM		
SR NO	LEGEND	DESCRIPTION
1	FACP	ANALOGUE ADDRESSABLE SINGLE LOOP FIRE ALARM CONTROL PANEL
2	S	ANALOGUE ADDRESSABLE OPTICAL SMOKE DETECTOR
3	H	ANALOGUE ADDRESSABLE OPTICAL HEAT DETECTOR
4	●	ANALOGUE ADDRESSABLE MANUAL CALL STATION
5	Speaker icon	ANALOGUE ADDRESSABLE ELECTRONIC SOUNDER

3/4" EMT CONDDUIT ABOVE FALSE CEILING WITH 2X1.5mm SOLID COPPER CONDUCTOR FIRE ALARM CABLE.



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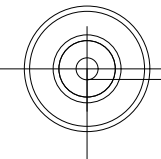
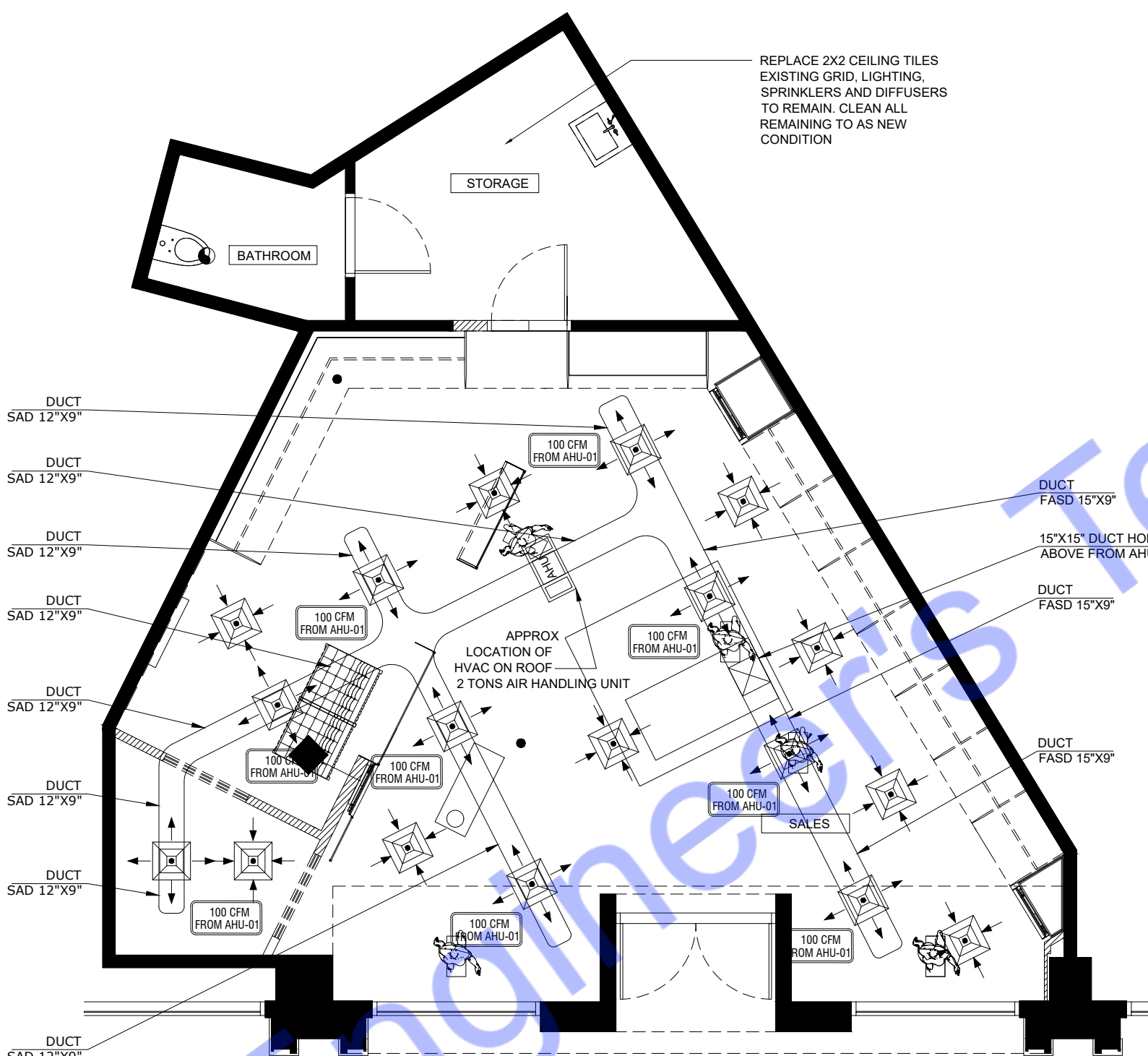
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TITLE

FIRE ALARM LAYOUT PLAN

DRAWN BY	CHECKED BY	DATE 14/04/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER E-06	REV-00	

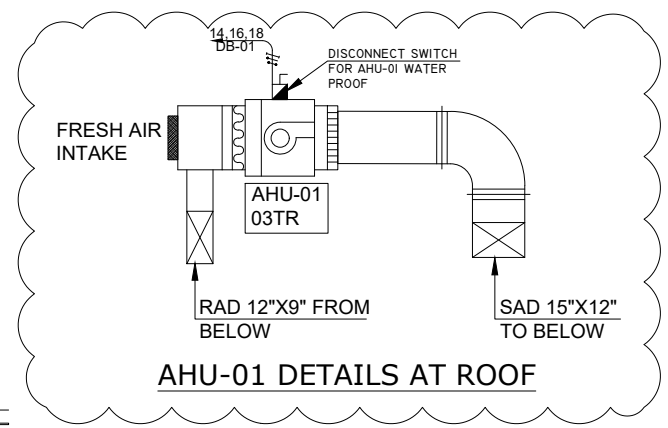
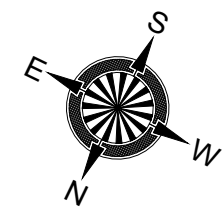


HVAC LAYOUT PLAN

REPLACE 2X2 CEILING TILES
EXISTING GRID, LIGHTING,
SPRINKLERS AND DIFFUSERS
TO REMAIN. CLEAN ALL
REMAINING TO AS NEW
CONDITION

LEGENDS:

HVAC SYSTEM		
SR NO	LEGEND	DESCRIPTION
1	SAD	SUPPLY AIR DUCT
2	FAD	FRESH AIR DUCT
3	FCU	FAN COIL UNIT
4	CFM	CUBIC FEET PER MINUET
5	VD	VOLUME DAMPER
6	TR	TON REFRIGERATION
7	AHU	AIR HANDLING UNIT
8		SUPPLY SQUARE DIFFUSER 12\"X12"
9		RETAIN SQUARE DIFFUSER 12\"X12"



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2022 CALIFORNIA ENERGY CODE

PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

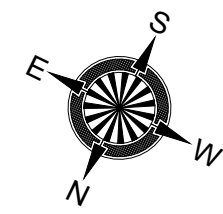
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TITLE

HVAC LAYOUT PLAN

DRAWN BY	CHECKED BY	DATE 14/04/2024
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DRAWING NUMBER M-01	REV-00	



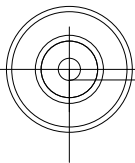
PANEL REFERENCE : Existing DB-01
No OF LINE : 18
SERVICE VOLTAGE : 208V/120V,3PH,4W,60HZ

LOCATION : RUBIN & CHAPELLE
MOUNTING : FLUSH
FEEDER ENTRANCE : BOTTOM
FED FROM : Meter

DESCRIPTION	WIRE	POINT	BREAKER	WATT			CKT.	DESCRIPTION			CKT.	WATT			BREAKER	POINT	WIRE	DESCRIPTION
	SIZE(mm²)		Amp				No.	R	Y	B	No.	R	Y	B	Amp	Nos	SIZE(mm²)	
LIGHTING FOR SELL AREA	2X2.5+1.5 E	3	15	500			1	●			2	560			15	3	2X2.5+1.5 E	LIGHTING FOR SELL AREA
LIGHTING FOR SELL AREA	2X2.5+1.5 E	8	15		288		3		●		4		250		15	1	2X2.5+1.5 E	LIGHTING FOR SELL AREA
LIGHTING FOR SELL AREA	2X2.5+1.5 E	8	15			500	5			●	6			1000	15	2	2X2.5+1.5 E	POWER PROVISION FOR LOGO LIGHTING
13A POWER OUTLETS FOR SELL AREA	2X2.5+1.5 E	8	20	1200			7	●			8	1200			20	8	2X2.5+1.5 E	13A POWER OUTLETS FOR SELL AREA
POWER PROVISION FOR INTEGRAL LED STRIP LIGHT	2X2.5+1.5 E	1	20		150		9		●		10		600		20	4	2X2.5+1.5 E	13A POWER OUTLETS FOR SELL AREA
13A POWER OUTLETS FOR SELL AREA	2X2.5+1.5 E	2	20			300	11			●	12			800	20	1	2X2.5+1.5 E	POWER PROVISION FOR PACP PANEL
SPARE			20				13	●			14	1500			30	1	4X10+6 E	AHU UNIT-01 03 TON
SPARE			20				15		●		16		1500					
SPARE			20				17			●	18			1500				
TOTAL				1700	438	800						3260	2350	3300	TOTAL			

TOTAL BUSBAR R : 4960 WATT DEM. FACTOR : 1 MAIB BREAKER : 32 Amp MCCB 32 A
TOTAL BUSBAR Y : 2788 WATT DEM. LOAD : 11.85 K.W D.BREAKER : 22.81 Amp CABLE: 4X6MM2 + 1CX4MM2
TOTAL BUSBAR B : 4100 WATT DEM. LOAD : 14.81 KVA
TOTAL LOAD : 11.85 KW DEM. CURRENT : 22.81 Amp
POWER FACTOR : 0.8
TOTAL LOAD : 14.81 KVA
VOLT FACTOR : 1.54
LINE CURRENT : 22.81 Amp

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LOAD SCHEDULE & AHU SHCEDULE

ENGINEER
NAME: RICHARD JENSEN
ADDRESS:

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PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

OWNER
IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE

LOAD SCHEDULE & AHU
SHCEDULE

DRAWN BY	CHECKED BY	DATE
		14/04/2024
SCALE: 1:50		PROJECT NUMBER
DRAWING NUMBER		REV-00
E-07		

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

Project Name: RUBIN & CHAPELLE FASHION ISLAND
Calculation Description: RUBIN & CHAPELLE IRVINE COMPANY

Calculation Date/Time: 04-02-2024
Input File Name: RUBIN & CHAPELLE FASHION ISLAND

CF1R-PRF-01E

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GENERAL INFORMATION			
01	Project Name	RUBIN & CHAPELLE FASHION ISLAND	
02	Run Title	RUBIN & CHAPELLE FASHION ISLAND	
03	Project Location	249 NEWPORT CENTER DRIVE NEWPORT BEACH, CA 92660	
04	City	NEWPORT BEACH, CALIFORNIA 92660	05 Standards Version
06	Zip code	92660	07 Software Version
08	Climate Zone	0	09 Front Orientation (deg/ Cardinal)
10	Building Type	Retail Shop	11 Number of Units
12	Project Scope	Amendment in existing and some new work	13 Number of rooms
14	Sales Floor Area (ft²)	795	15 Number of Stories
16	Non Sales Floor Area (ft²)	148	17 Fenestration Average U-factor
18	Total Cond. Floor Area (ft²)	943	19 Glazing Percentage (%)
20	Total occupant	27 for sales and 01 for non sales- 28 persons	

COMPLIANCE RESULTS

01	Building Complies with Computer Performance.
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

Project Name: RUBIN & CHAPELLE FASHION ISLAND
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	Energy Design Ratings			Compliance Margins		
	Source Energy (EER1)	Efficiency* EDR (EDR2efficiency)	Total* EDR (EDR2total)	Source Energy (EER1)	Efficiency* EDR (EDR2efficiency)	Total* EDR (EDR2total)
Standard Design	37.8	40.6	27.8			
Proposed Design	33.4	36.3	21.7	2.4	4.3	6.1
RESULT: PASS						
*Efficiency EDR includes improvements like a better building envelope and more efficient equipment						
*Total EDR includes efficiency and demand response measures such as photovoltaic (PV) system and batteries						
*Building compliance values source energy, efficiency and total compliance margins are greater than or equal to zero and U-factor and U-factor limits are not exceeded						
• Standard Design PV Capacity: 2.78 kWdc						
• Proposed PV system downsized to 2.10 kWdc (a factor of 0.03) due to cap of 1 x proposed design electricity use						

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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ENERGY USE SUMMARY						
Energy Use	Standard Design Source Energy (LDR1) (kBtu/ft² - yr)	Standard Design TDV Energy (LDR2) (kTDV/ft² - yr)	Proposed Design Source Energy (LDR1) (kBtu/ft² - yr)	Proposed Design TDV Energy (LDR2) (kTDV/ft² - yr)	Compliance Margin (EDR1)	Compliance Margin (EDR2)
Space Heating	2.94	13.13	0.93	6.83	2.01	6.3
Space Cooling	0.43	12.32	0.37	12	0.06	0.32
IAQ Ventilation	0.35	3.78	0.35	3.78	0	0
Water Heating	1.19	12.4	8.41	14.6	-2.22	-2.2
Self Utilization/Flexibility Credit				0		0
Efficiency Compliance Total	4.92	41.63	5.07	37.21	-0.15	4.42
Photovoltaics	-1.47	-42.54	-2.22	-49.9		
Battery			0	0		
Flexibility						
Indoor Lighting	0.74	7.01	0.76	7.01		
Appl. & Cooking	1.68	14.26	1.7	14.44		
Plug Loads	3	30.49	3	30.49		
Outdoor Lighting	0.19	1.63	0.19	1.63		
TOTAL COMPLIANCE	9.06	52.48	8.48	40.88		

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

Project Name: RUBIN & CHAPELLE FASHION ISLAND
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ENERGY USE INTENSITY				
	Standard Design (kBtu/ft² - yr)	Proposed Design (kBtu/ft² - yr)	Compliance Margin (kBtu/ft² - yr)	Margin Percentage
Gross EUI*	13.15	12.75	0.4	3.04
Net EUI*	5.58	4.56	1.02	18.28
Notes 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.				

REQUIRED PV SYSTEMS											
01	02	03	04	05	06	07	08	09	10	11	12
DC System Size (kWdc)	Exception	Module Type	Array Type	Power Electronics	CFI	Azimuth (deg)	Tilt Input	Array Angle (deg)	Tilt: (x in 12)	Inverter Eff. (%)	Annual Solar Access (%)
2.1	NA	Standard (14-17%)	Tracking (two axis)	DC Power Optimizers	false	n/a	n/a	n/a	n/a	96	98

REQUIRED SPECIAL FEATURES

The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.

- PV System: 2.1 kWdc
- PV Array Type: Tracking (two axis)
- PV Power: Electric DC Power Optimizer
- Insulation above roof deck
- Insulation below roof deck
- Window overhangs and/or fins
- Solar Edge Insulation

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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HERS FEATURE SUMMARY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.

- Quality Insulation Installation (QII)
- Indoor air quality ventilation
- Kitchen range hood
- Verified Radiant Heat Charge
- Verified heat pump rated heating capacity
- Pipe Insulation, All Lines
- Drain water heat recovery system

BUILDING - FEATURES/INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft²)	Number of Units	Number of rooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
RUBIN & CHAPELLE FASHION ISLAND	943	1	03	01	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft²)	Avg. Ceiling Height	Water Heating System 1	Status
Sales area	Conditioned	AHU unit at Floor	745	12	DHW-1	New

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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FENESTRATION / GLAZING													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
SALES AREA WINDOW	Window	EXTERIOR WALL NORTH	Front	0	6'-8"	8	1	54	0.3	NFRC	0.23	NFRC	Bug Screen
SALES AREA WINDOW	Window	EXTERIOR WALL NORTH	Front	0	6'-8"	8	1	54	0.3	NFRC	0.23	NFRC	Bug Screen

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft²)	U-factor
ENTRANCE DOOR NORTH	EXTERIOR WALL NORTH	48	0.2
STORAGE SPACE DOOR	INTERIOR WALL SOUTH	24	0.1
BATHROOM DOOR	INTERIOR WALL EAST	24	0.1

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
EXTERIOR WALL	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.085	Inside Finish: Gypsum Board Sheathing / Insulation: Gypsum Board Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: Gypsum Board Exterior Finish: 3 Coat Stucco
INTERIOR WALL CONSTRUCTION	Interior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	0 / None	0.044	Inside Finish: Gypsum Board Sheathing / Insulation: R-9 Sheathing Cavity / Frame: R-15 / 2x4 Sheathing / Insulation: Wood Siding/sheathing/decking Other Side Finish: Gypsum Board

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Asphalt Shingle Roof	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-38	None / 20	0.019	Roofing: Light Roof (Asphalt Shingle) Above Deck Insulation: R-20 Sheathing Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-38 in 11-1/4 in. (R-37) / 2x4 Top Chord Inside Finish: Gypsum Board
CEILING CONSTRUCTION	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-38	32 / None	0.023	Attic Floor: Wood Siding/sheathing/decking Cavity / Frame: R-38 in 11-1/4 in. (R-37) / 2x4 Sheathing / Insulation: R-32 Sheathing Inside Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION

01	02	03	04	05
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50	CFM50
Required	Not Required	N/A	n/a	n/a

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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AHU SCHEDULE

UNIT NO.	LOCATION	FLOOR/AREA	SERVICE	QTY	NOMINAL CAPACITY TON	SUPPLY FAN DATA									
						FRESH AIR SUPPLY CFM	EX. SP. IN. WG	HP	V/FW/2	TOTAL C.C. MBH	SENSEBLE C.C. MBH	AIR DATA	INPUT MBH	OUTPUT MBH	AFFE %
AHU-01	ROOF	AS SHOWN		1	3	290	900	0.6	2.4	280/3/50	76.3	96.8	90	47	95

CERTIFICATE OF COMPLIANCE - RUBIN & CHAPELLE FASHION ISLAND

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DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

I, certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name:	Documentation Author Signature:
Company:	Signature Date:

Address: CEA/HERS Certification identification (if applicable):

City/State/Zip: Phone:

RESPONSIBLE PERSON'S DECLARATION STATEMENT

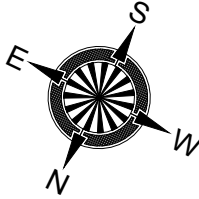
I certify the following under penalty of perjury, under the laws of the State of California:

- I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.
- I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.
- The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name:	Responsible Designer Signature:
Company:	Date Signed:

Address: License:

City/State/Zip: Phone:



NAME: RICHARD JENSEN
ADDRESS:

Rev	Description	Date

APPLICABLE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA COMMERCIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE

RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

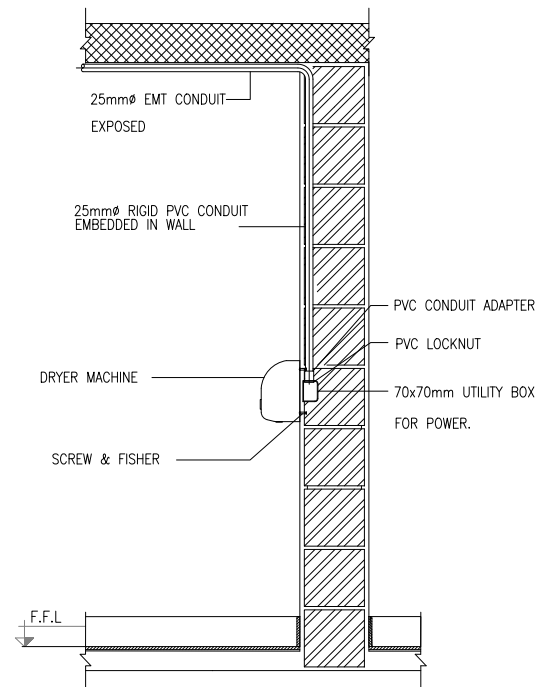
TITLE

TITLE 24 SHEET

DRAWN BY: CHECKED BY: DATE: 14/04/2024

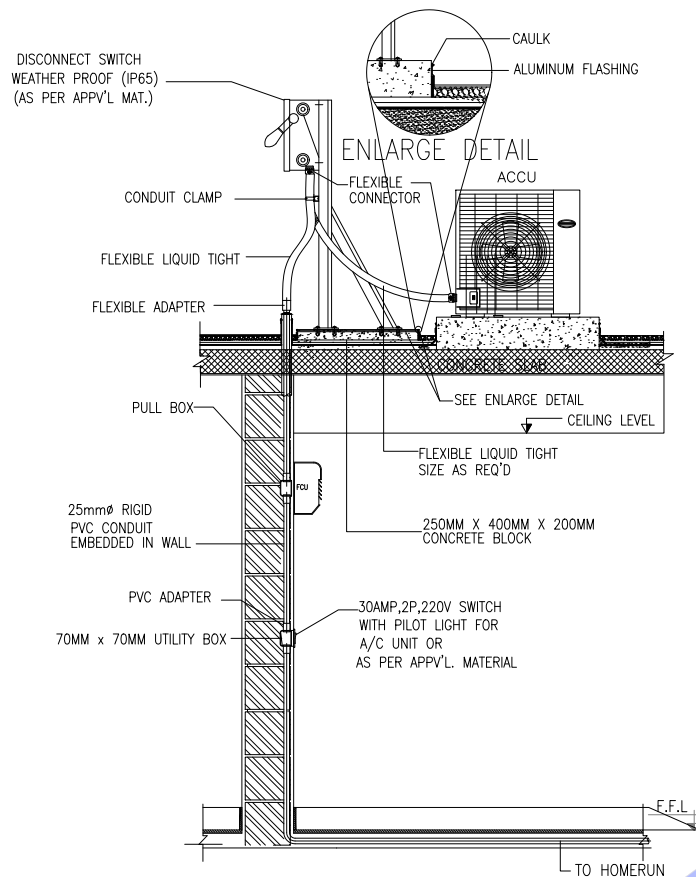
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DRAWING NUMBER: E-08 REV-00



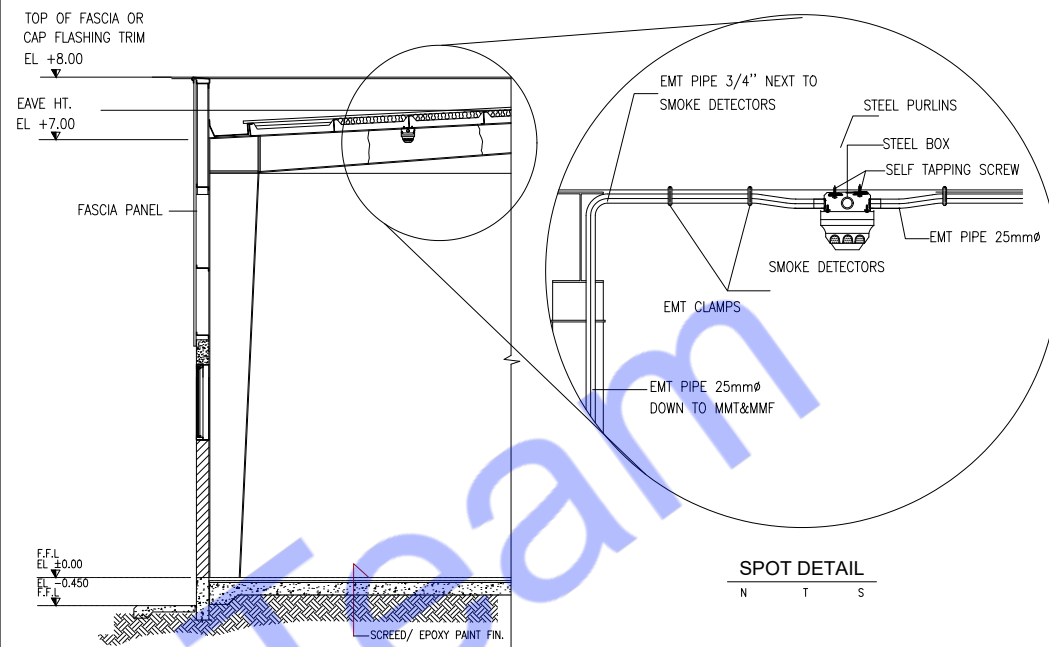
TYPICAL MOUNTING DETAIL
FOR DRY MACHINE POWER SUPPLY

SCALE NTS



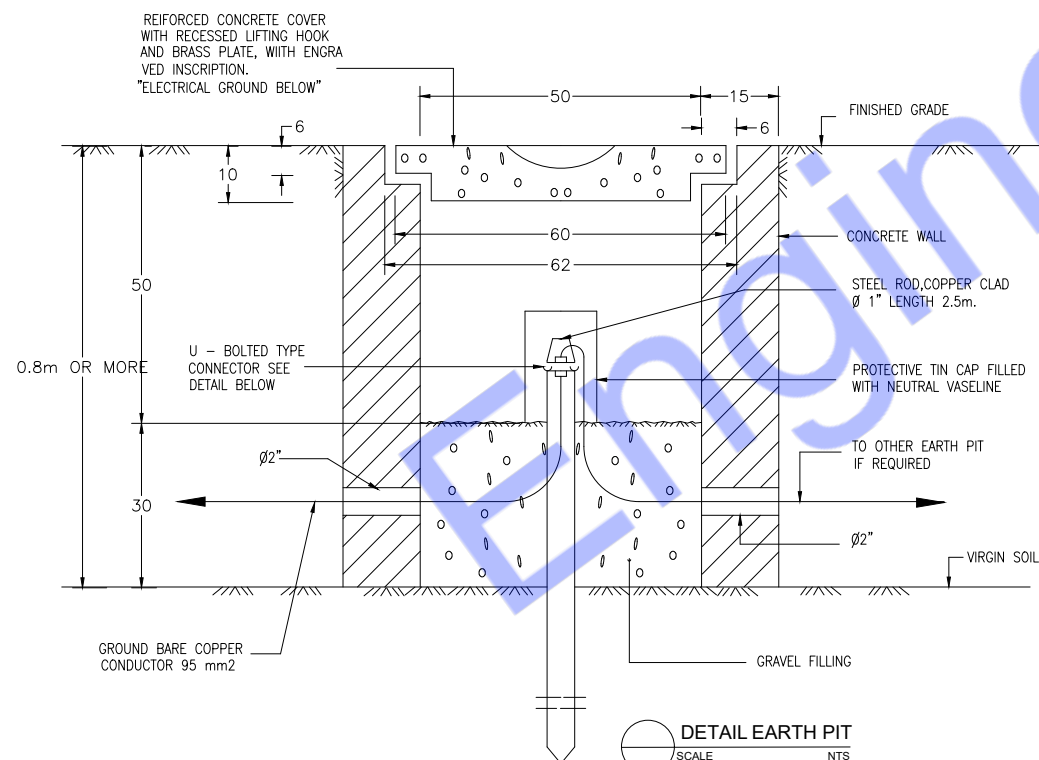
FCU AND ACCU POWER SUPPLY
INSTALLATION DETAILS (TYP.)

SCALE NTS



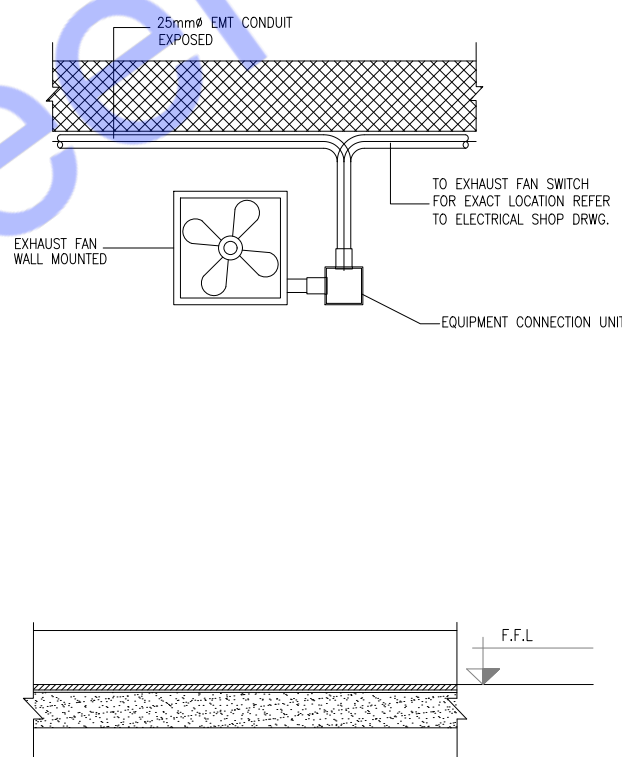
SMOKE DETECTORS INSTALLATION DETAILS

SCALE NTS



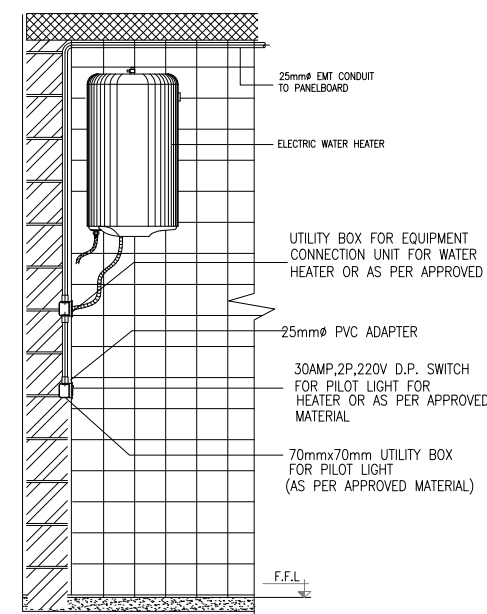
DETAIL EARTH PIT

SCALE NTS



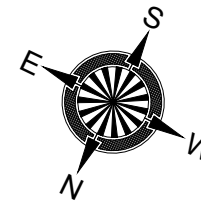
EXHAUST FAN OUTLET MOUNTING &
INSTALLATION DETAILS (TYP.)

SCALE NTS



WATER HEATER OUTLET MOUNTING &
INSTALLATION DETAILS (TYPICAL)

SCALE NTS



NAME: RICHARD JENSEN
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2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE

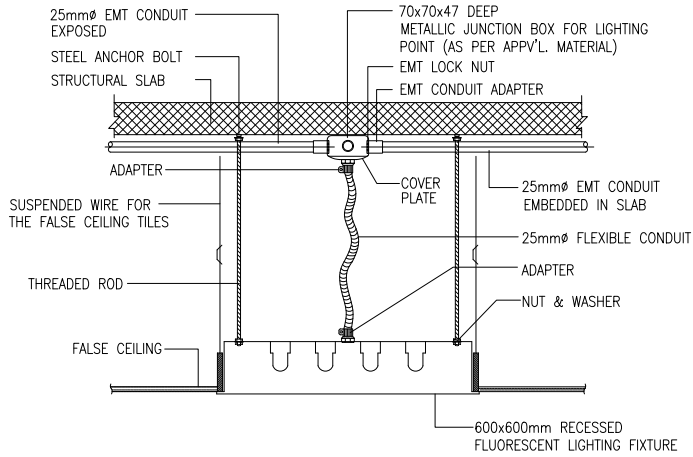
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

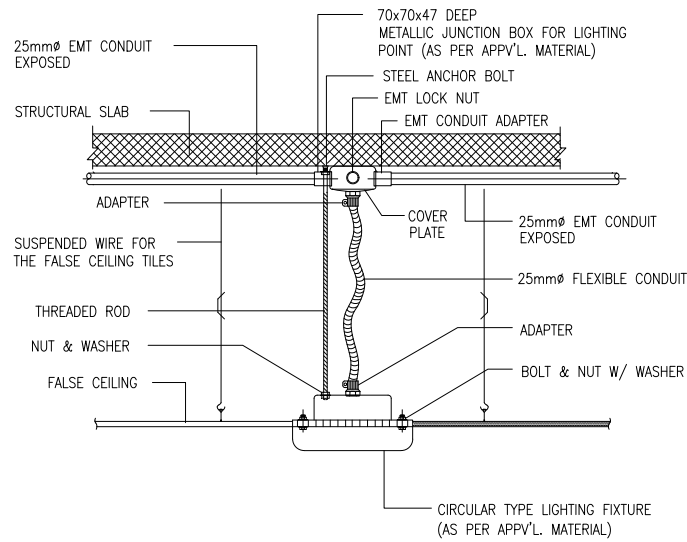
RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE
TECHNICAL DETAILS

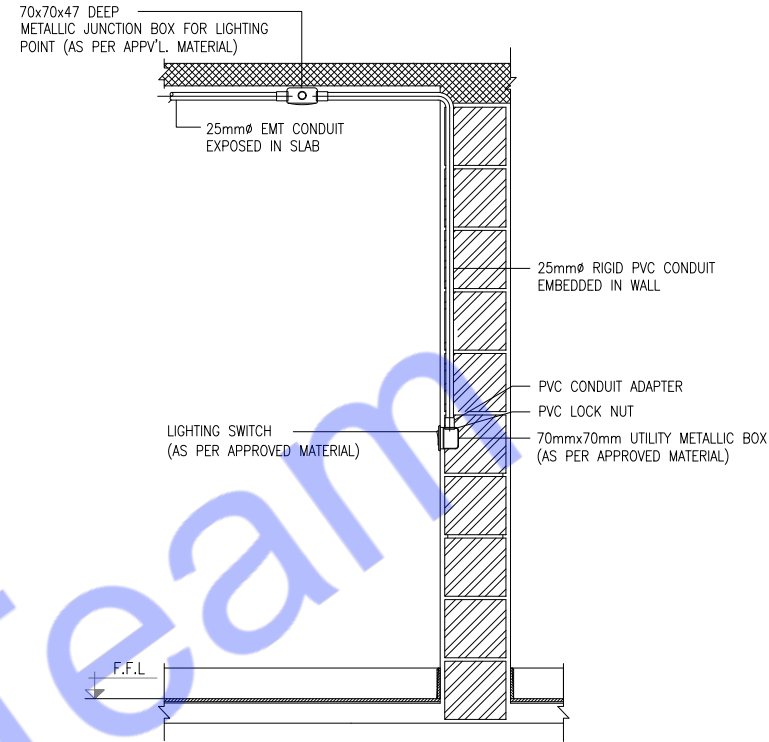
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SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER E-09	REV-00	



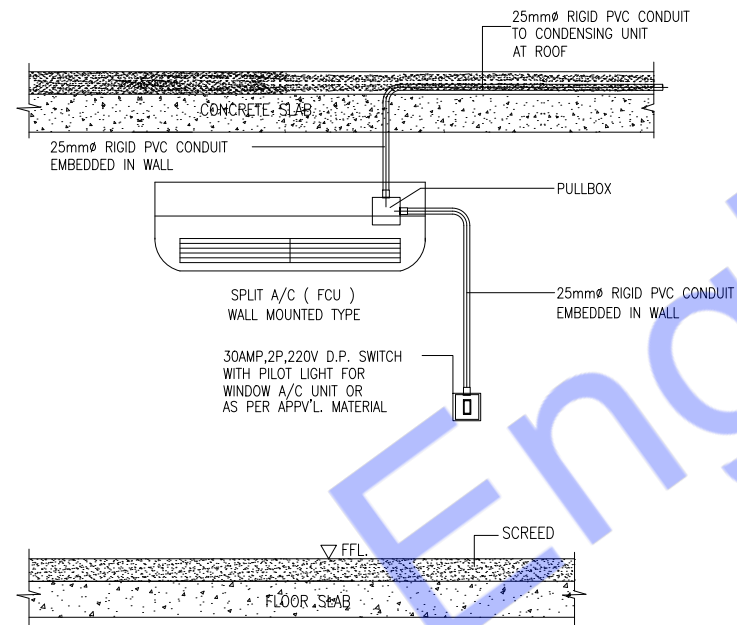
600mmx600mm RECESSED LED LIGHTING
FIXTURE INSTALLATION DETAILS (TYPICAL)



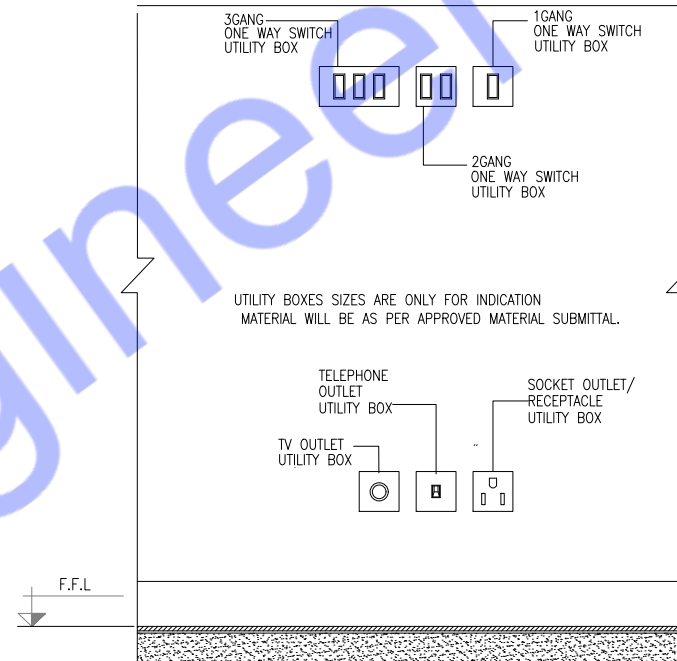
RECESSED CIRCULAR TYPE LIGHTING
FIXTURE INSTALLATION DETAILS



TYPICAL MOUNTING ARRANGEMENT
FOR LIGHTING SWITCHES

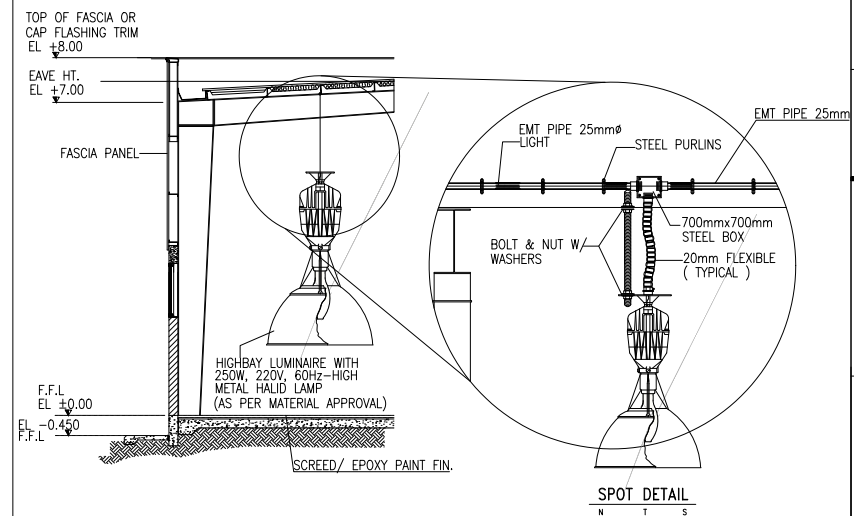


FCU POWER SUPPLY
INSTALLATION DETAILS (TYP.)

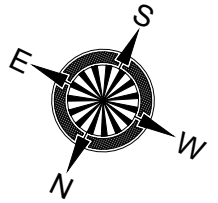


KEY REFERENCE:-
30mm DISTANCE BETWEEN EACH UTILITY BOX FOR LIGHTING &
POWER RECEPTACLES, UNLESS OTHERWISE SPECIFIED.

MOUNTING ARRANGEMENT FOR POWER,
TELEPHONE, MATV OUTLET AND SWITCHES



SUSPENDED Highbay INSTALLATION DETAIL



NAME: RICHARD JENSEN
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2022 CALIFORNIA ENERGY CODE

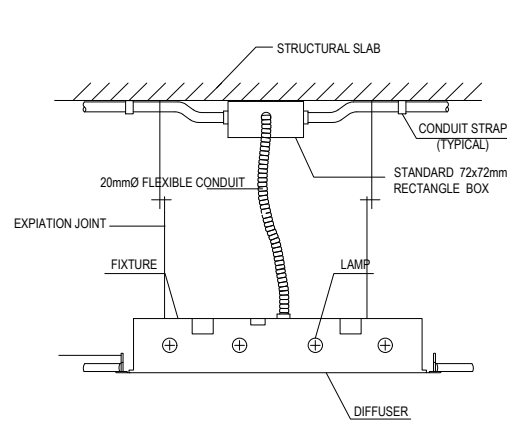
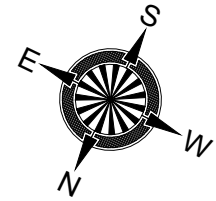
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

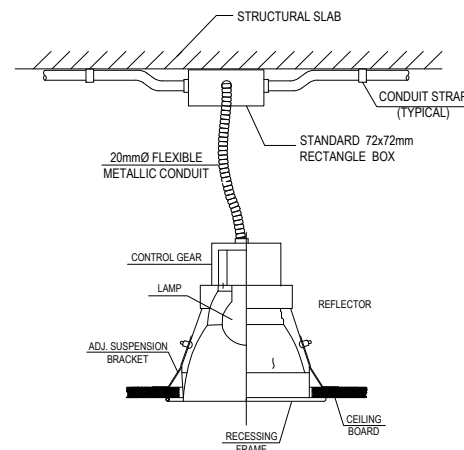
RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TECHNICAL DETAILS

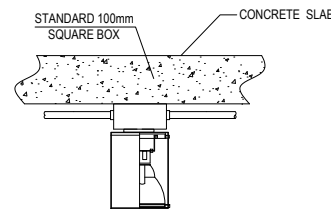
DRAWN BY	CHECKED BY	DATE
		14/04/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER	REV-00	
E-10		



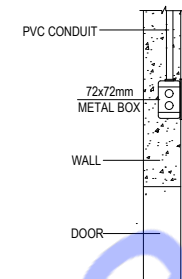
1 4X18W FLUORESCENT RECESSED LIGHT FIXTURE
GE-LF-10A L-AB-MB-10 INSTALLATION DETAILS



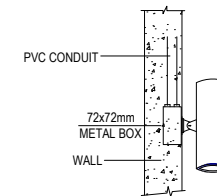
2 RECESS DOWN LIGHT
GE-LF-10A L-AB-MB-10 INSTALLATION DETAILS



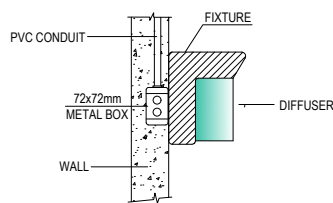
3 SURFACE MOUNTED LIGHT
GE-LF-10A L-AB-MB-10 INSTALLATION DETAILS



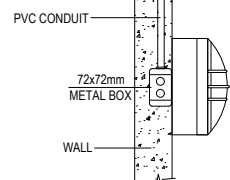
4 MIRROR LIGHT
GE-LF-10A L-AB-MB-10 MOUNTING DETAILS



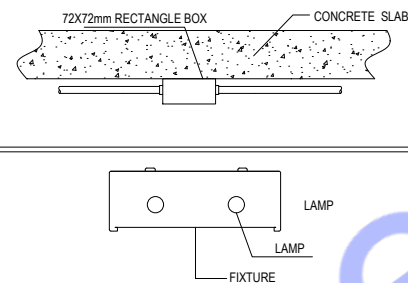
5 WALL MOUNTED LIGHT
GE-LF-10A L-AB-MB-10 MOUNTING DETAILS



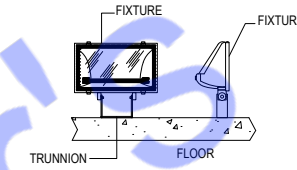
6 WALL MOUNTED LIGHT
GE-LF-10A L-AB-MB-10 MOUNTING DETAILS
(IN ZONE-1 & 3)



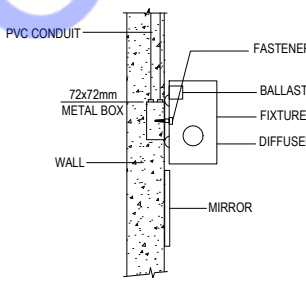
7 WALL MOUNTING
NOT USED



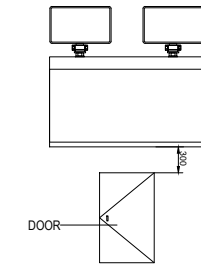
8 DIRECT-WALL / CEILING MOUNTING
NOT USED



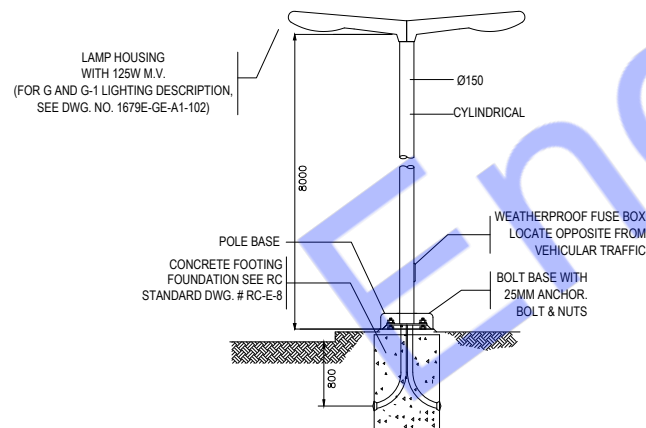
9 TRUNNION MOUNTING - FLOOR
NOT USED



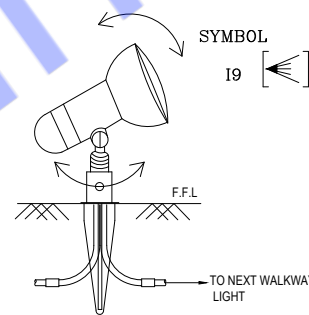
10 DIRECT WALL MOUNTING



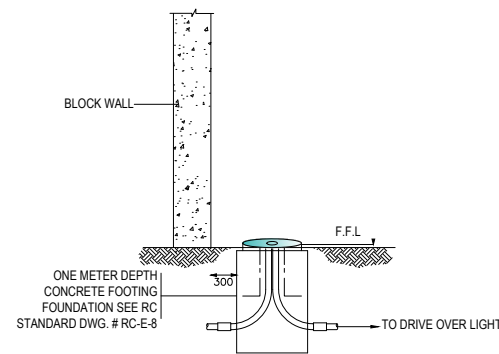
11 SURFACE MOUNTING
USED IN MP-HALL



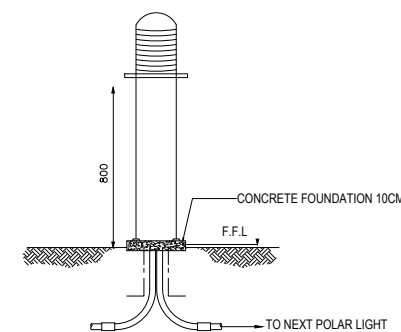
12 DOUBLE ARM POLE LIGHT
GE-LF-10A EX-L-AB-15 EXTERNAL LIGHTS



13 EARTH SPIKE GARDEN SPOT-LIGHT
GE-LF-10A EX-L-AB-15 EXTERNAL LIGHTS



14 DRIVE OVER LIGHT
GE-LF-10A EX-L-AB-15 EXTERNAL LIGHTS



15 POLAR LIGHT (1 Meter)
GE-LF-10A EX-L-AB-15 EXTERNAL LIGHTS

NAME: RICHARD JENSEN
ADDRESS:
ENGINEER

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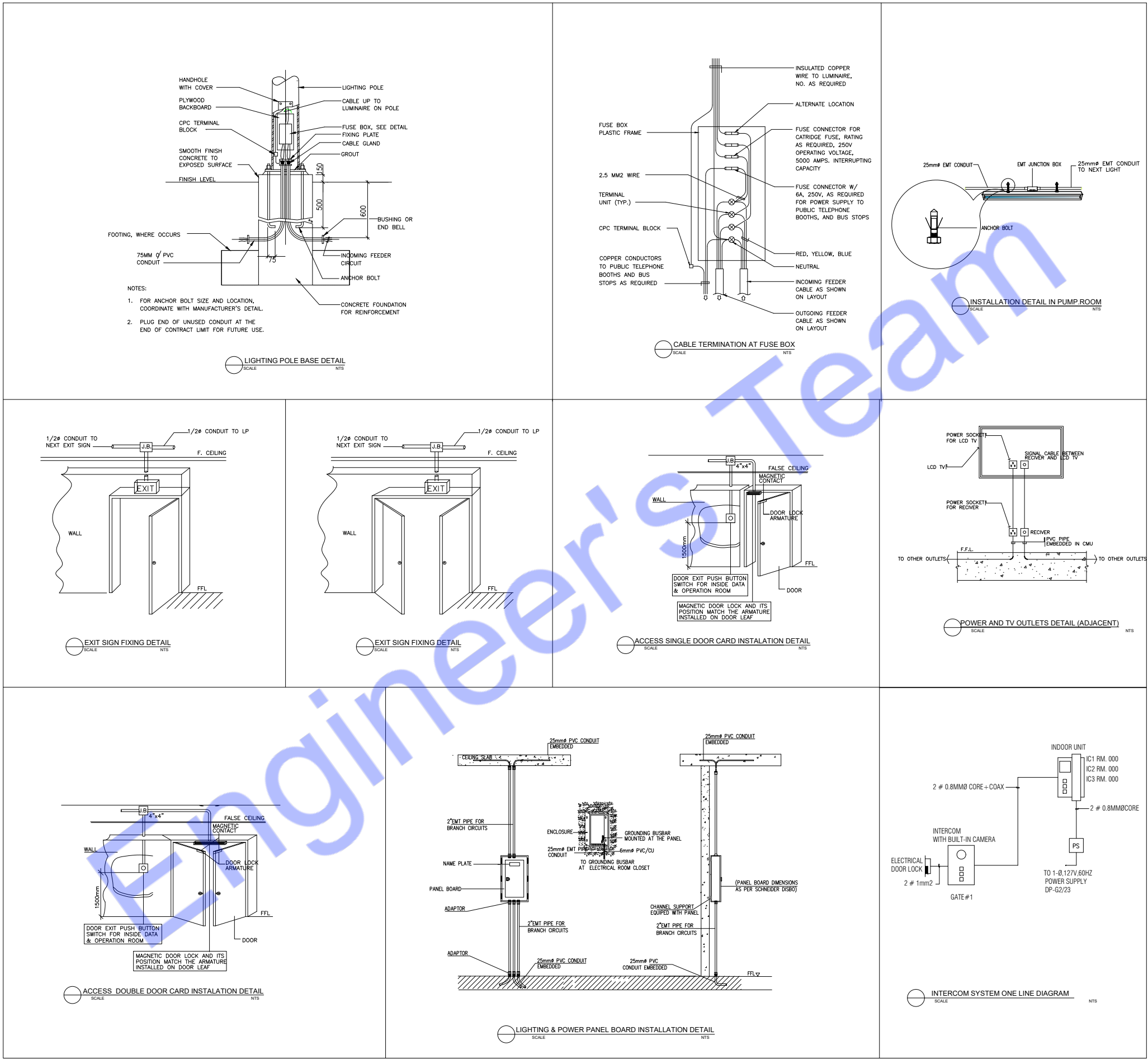
PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

OWNER
IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE
TECHNICAL DETAILS

DRAWN BY
CHECKED BY
DATE
14/04/2024
SCALE: 1:50
PROJECT NUMBER
DRAWING NUMBER
E-11
REV-00



NAME: RICHARD JENSEN
ADDRESS:

Rev	Description	Date

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2022 CALIFORNIA BUILDING CODE
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2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE

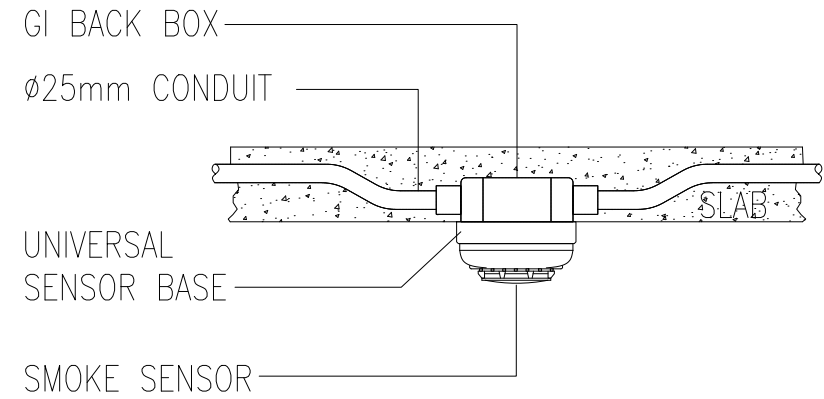
PROJECT
OWNER
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

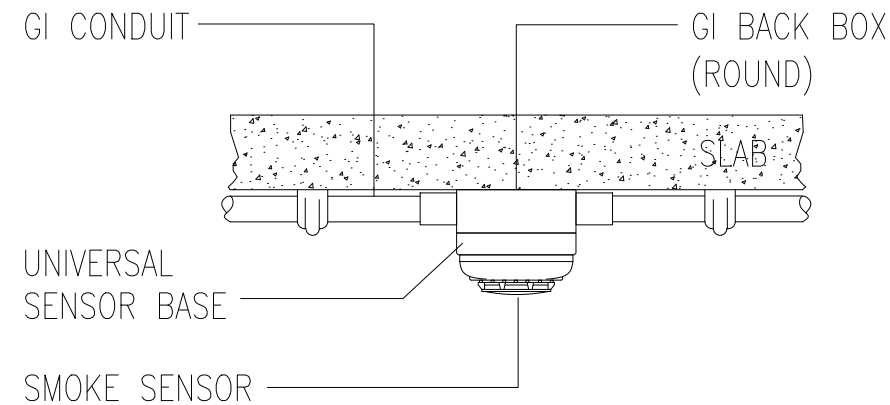
RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE
TECHNICAL DETAILS

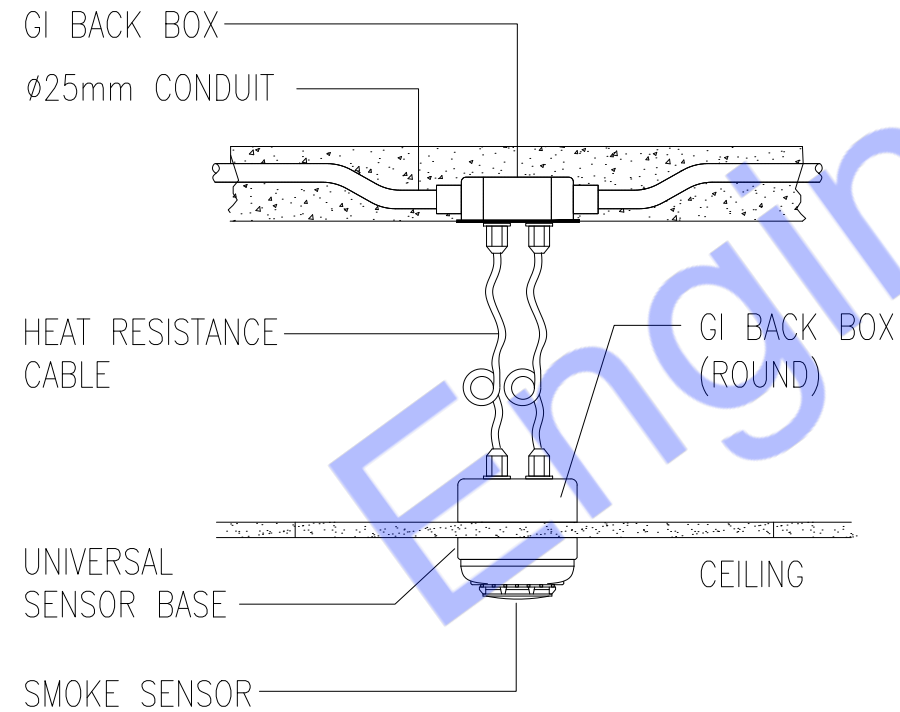
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SCALE: 1:50		PROJECT NUMBER
DRAWING NUMBER E-12		REV-00



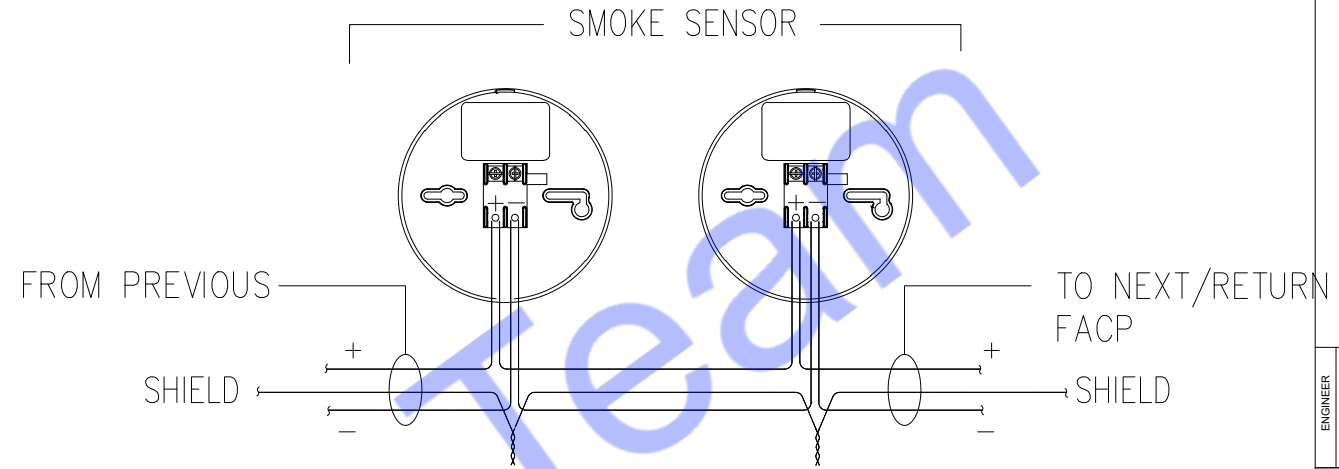
FLUSH MOUNTED
SMOKE DETECTOR



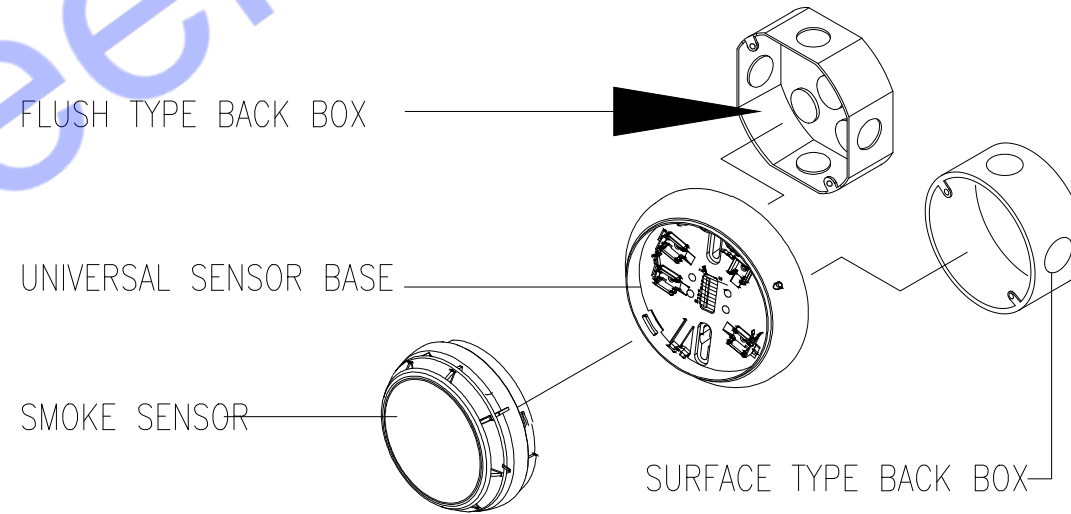
SURFACE MOUNTED
SMOKE DETECTOR



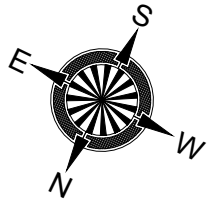
CEILING MOUNTED
SMOKE DETECTOR



COMMON WIRING DIAGRAM



INSTALLATION



NAME: RICHARD JENSEN
ADDRESS:
ENGINEER

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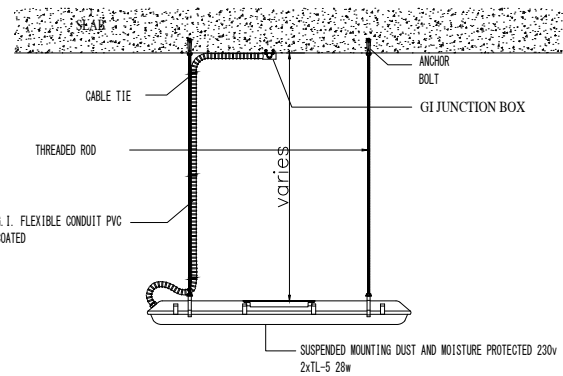
APPLICABLE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA COMMERCIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
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PROJECT
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660
OWNER
IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

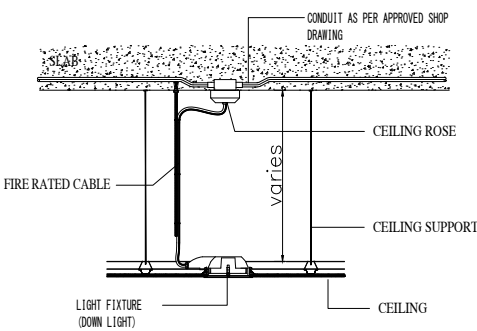
RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE
TECHNICAL DETAILS

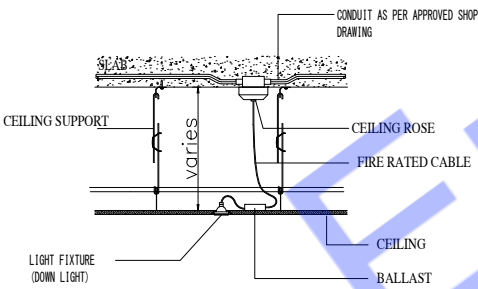
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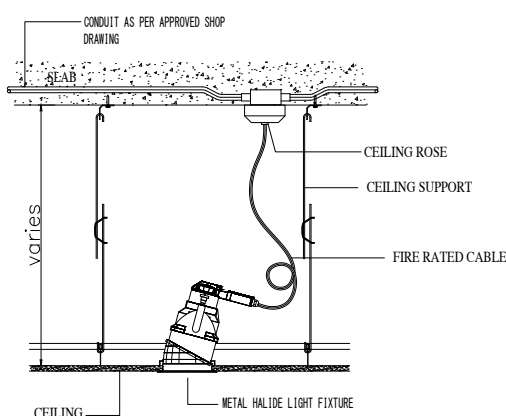
DETAIL-1-
TL28 5-w SURFACE&SUSPENDED MOUNTING
SCALE 1:25



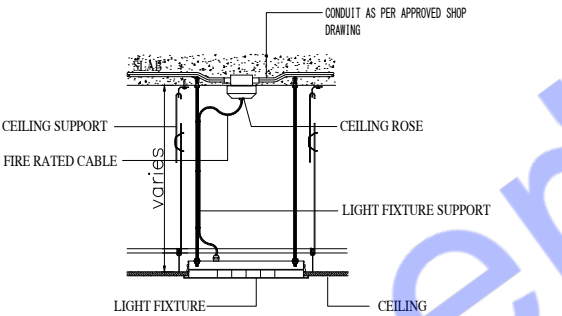
DETAIL-2
DOWN LIGHT INSTALLATION
SCALE 1:25



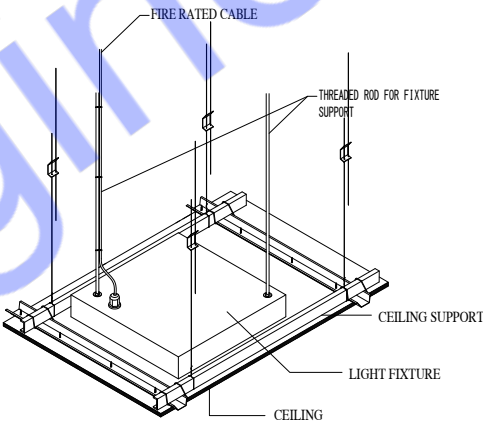
DETAIL-3
LED SPOT LIGHT INSTALLATION
SCALE 1:25



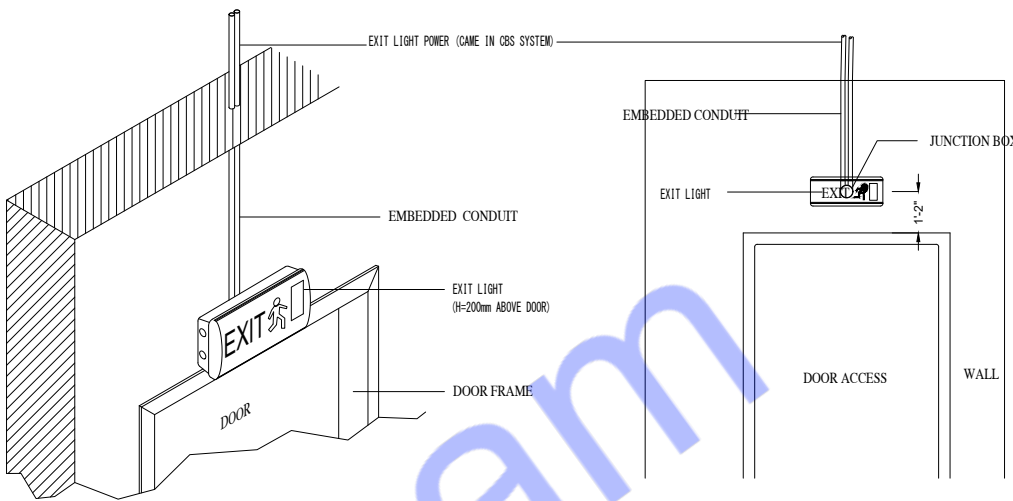
DETAIL-4
METAL HALIDE ADJUSTABLE DOWN LIGHT
SCALE 1:25



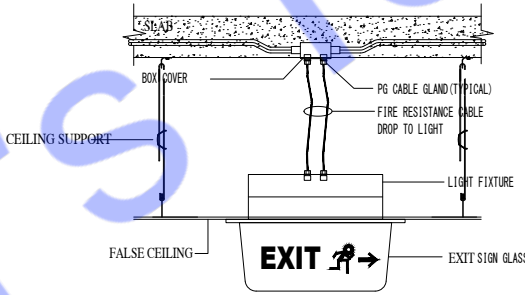
DETAIL-5
A TYPE RECESSED LIGHT 4xLT5-14W
SCALE 1:25



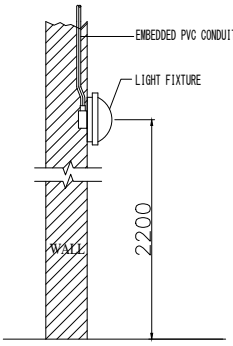
A TYPE RECESSED LIGHT 4xLT5-14W
ISOMETRIC VIEW
SCALE 1:25



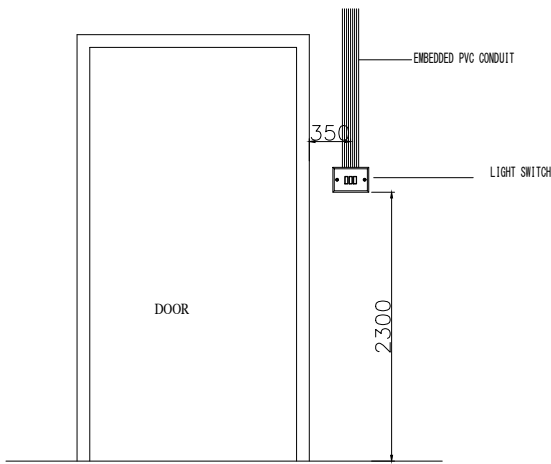
DETAIL-6
EXIT LIGHT 1x8W T16
SCALE 1:25



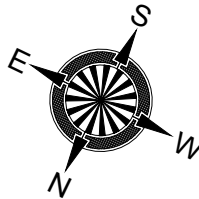
DETAIL-7
RECESS CEILING
MOUNTED EXIT LIGHT



DETAIL-8
E-TYPE BRACKET LIGHT
2xPL-C 4P-26W HF
SCALE NTS



DETAIL-9
INSTALLATION OF LIGHTING
SWITCH NEAR DOOR
SCALE 1:25



NAME: RICHARD JENSEN
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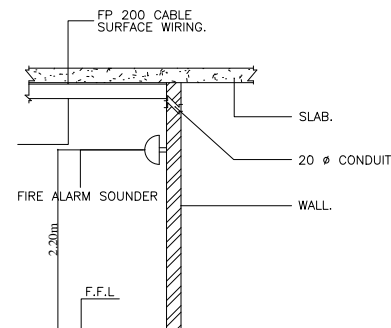
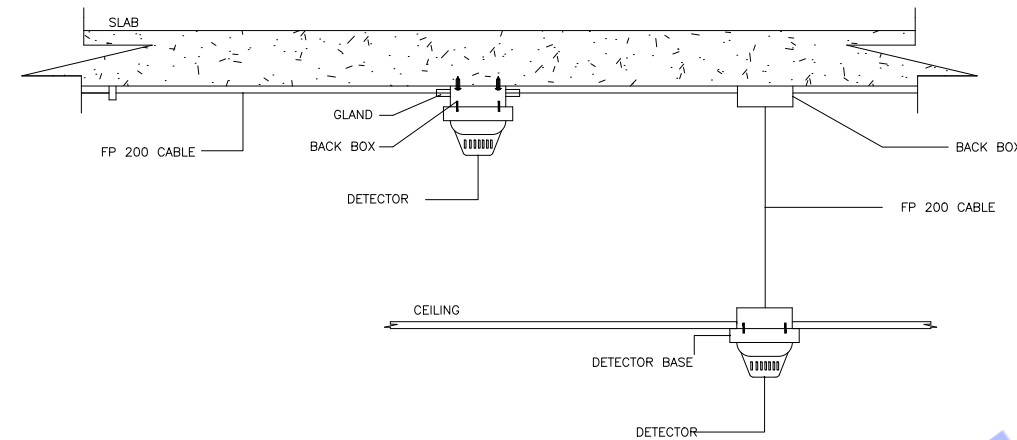
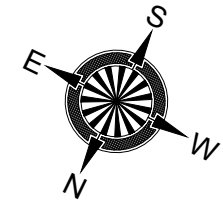
RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660
IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

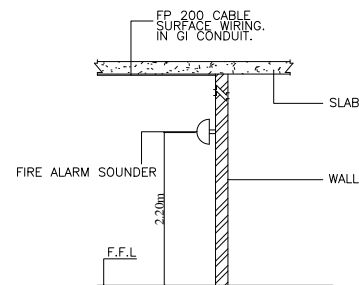
TITLE

TECHNICAL DETAILS

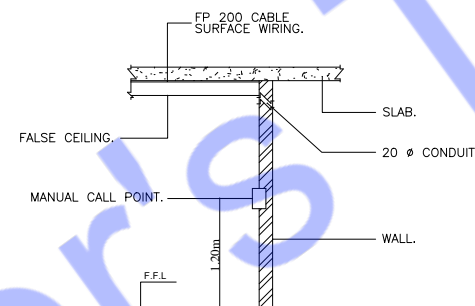
DRAWN BY	CHECKED BY	DATE 14/04/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER E-14	REV-00	



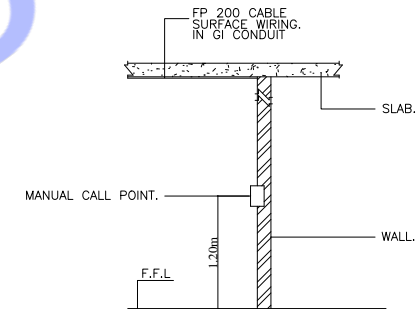
DETAIL— A
INSTALLATION DETAIL OF FIRE ALARM SOUNDER
IN FALSE CEILING AREA



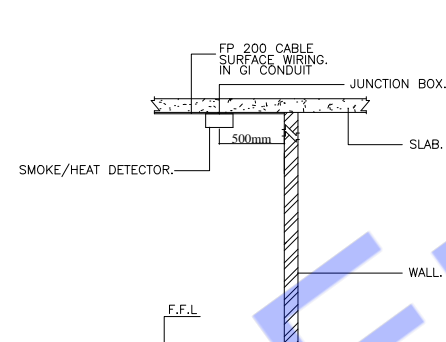
DETAIL— B
INSTALLATION DETAIL OF FIRE ALARM SOUNDER
IN FALSE CEILING AREA



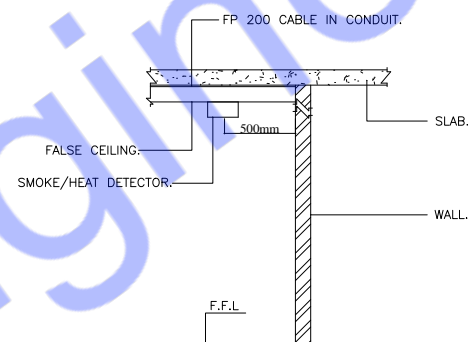
DETAIL— C
INSTALLATION DETAIL OF MANUAL CALL POINT
IN FALSE CEILING AREA



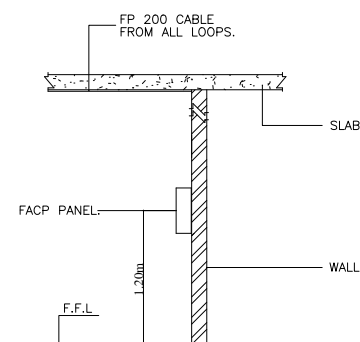
DETAIL— D
INSTALLATION DETAIL OF MANUAL CALL POINT
IN FALSE CEILING AREA



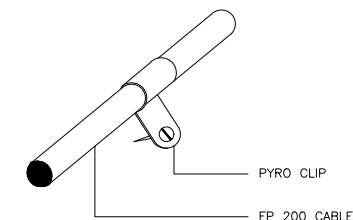
DETAIL— E
INSTALLATION DETAIL OF HEAT & SMOKE DETECTOR
IN FALSE CEILING AREA



DETAIL— F
INSTALLATION DETAIL OF HEAT & SMOKE DETECTOR
IN FALSE CEILING AREA



DETAIL— G
INSTALLATION DETAIL OF FACP PANEL
IN FALSE CEILING AREA



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2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA COMMERCIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE

RUBIN & CHAPELLE
FASHION ISLAND
249 NEWPORT CENTER DRIVE
NEWPORT BEACH, CA 92660

IRVINE COMPANY
RETAIL PROPERTIES
FASHION ISLAND
NEWPORT BEACH, CALIFORNIA 92660

RUBIN&CHAPELLE
IRVINE
MEP DRAWINGS

TITLE

TECHNICAL DETAILS

DRAWN BY	CHECKED BY	DATE
		14/04/2024
SCALE: 1:50	PROJECT NUMBER	
DRAWING NUMBER	REV-00	
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